



Architectural Response to DCC LRD Opinion
SVRD-STW-XX-XX-RP-A-022004

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Introduction

This report comprises an Architectural response to the Planning Report on Recommended Opinion (LRD 6009/22).

The responses included in this response statement relate to architectural items only.

Each section will begin with the full wording from the DCC Opinion in *blue italics*, so it is clear what each response is addressing.

1.0 Zoning

2.0 Dublin City Development Plan 2022-2028

3.0 Design Strategy and Height

4.0 Residential Amenity

5.0 Conservation

6.0 Open Space and Diversity

7.0 Traffic and Transportation Issues

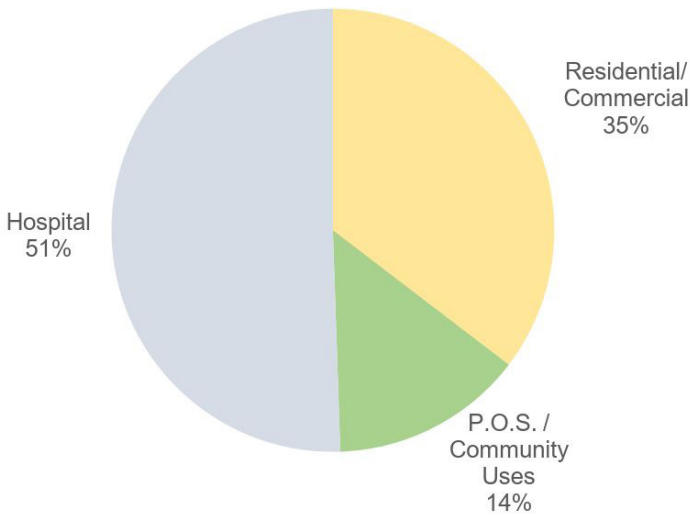


Aerial Photograph of Subject Lands

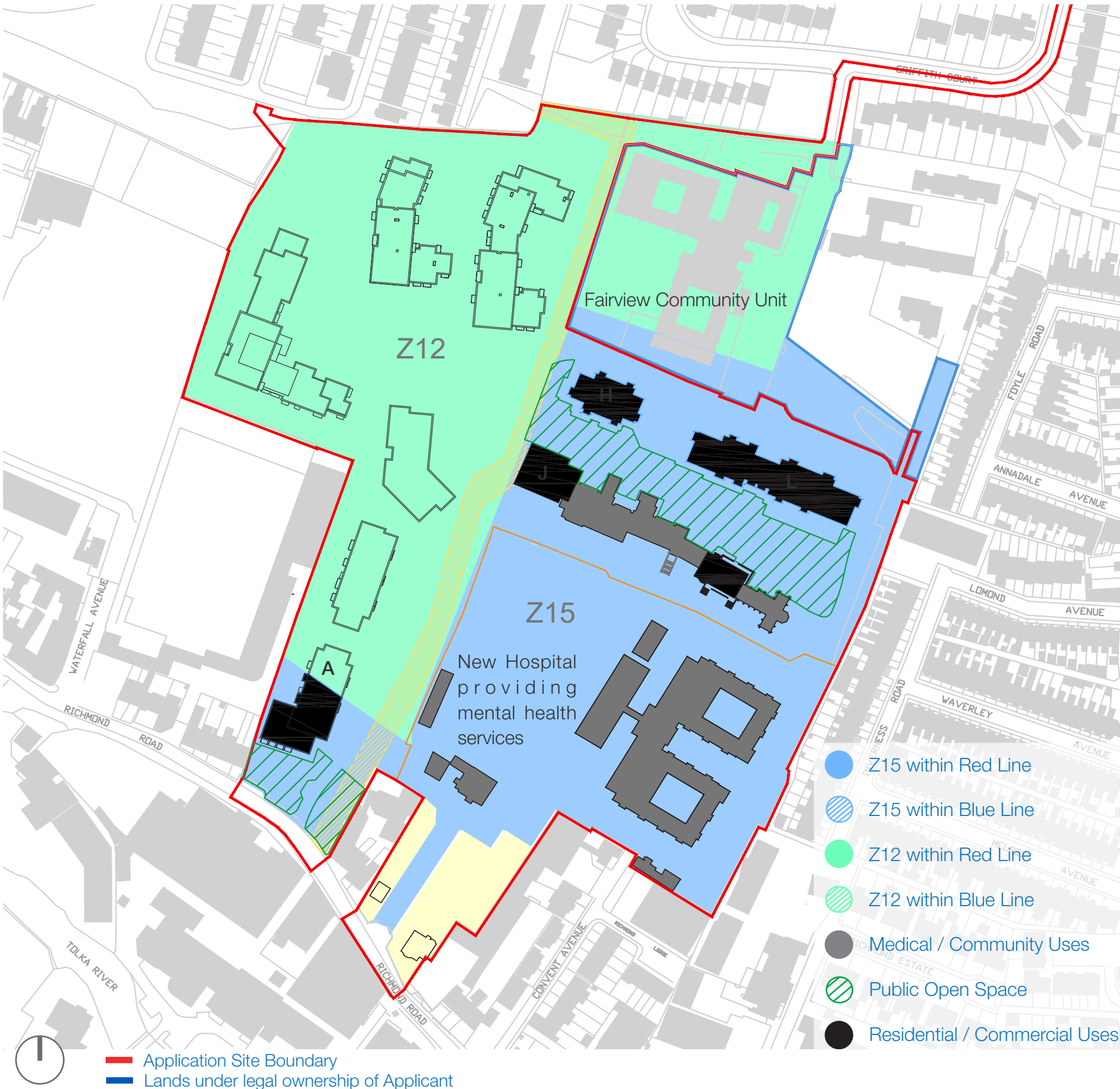
1.0 Zoning

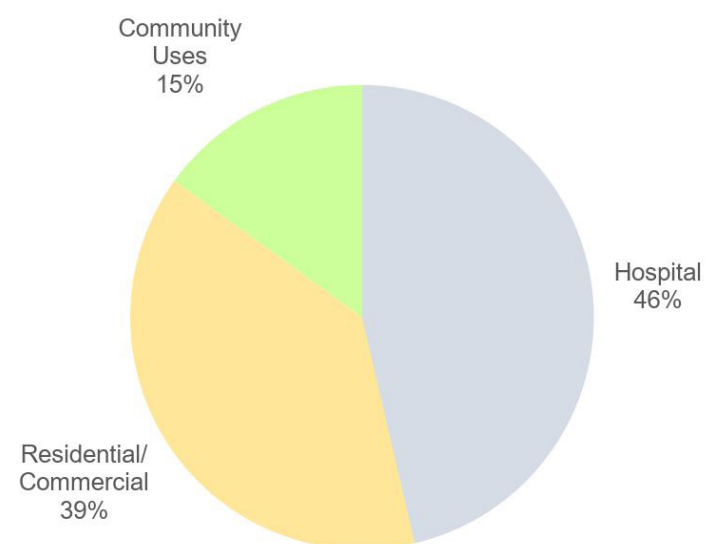
‘The applicant is requested to further outline how the development will comply with the new requirements set out for zoning objective Z15 Community and Social Infrastructure and in particular, the applicant will need to adequately justify how the proposed residential and commercial development on the Z15 lands is subordinate in scale to St Vincent’s Hospital.’

The institutional use of the Z15 lands at St. Vincent’s Hospital will remain as the primary use on the land, with the residential and commercial uses being subordinate, as illustrated below. Over 50% of the Z15 lands will remain in use as a new Hospital providing mental health services and associated grounds. The grounds provide land for potential future expansion to the immediate west of the new hospital should it be required in the longer term, although the applicant does not envisage such a scenario to arise based on the services they provide. The residential and commercial development accounts for 35% of the Z15 lands. The remaining area includes 0.655 ha of public open space and community uses. The total existing and proposed community and social infrastructure accounts for 65% of the Z15 lands.



Site Uses within Z15 Lands - Residential / Commercial use is subordinate



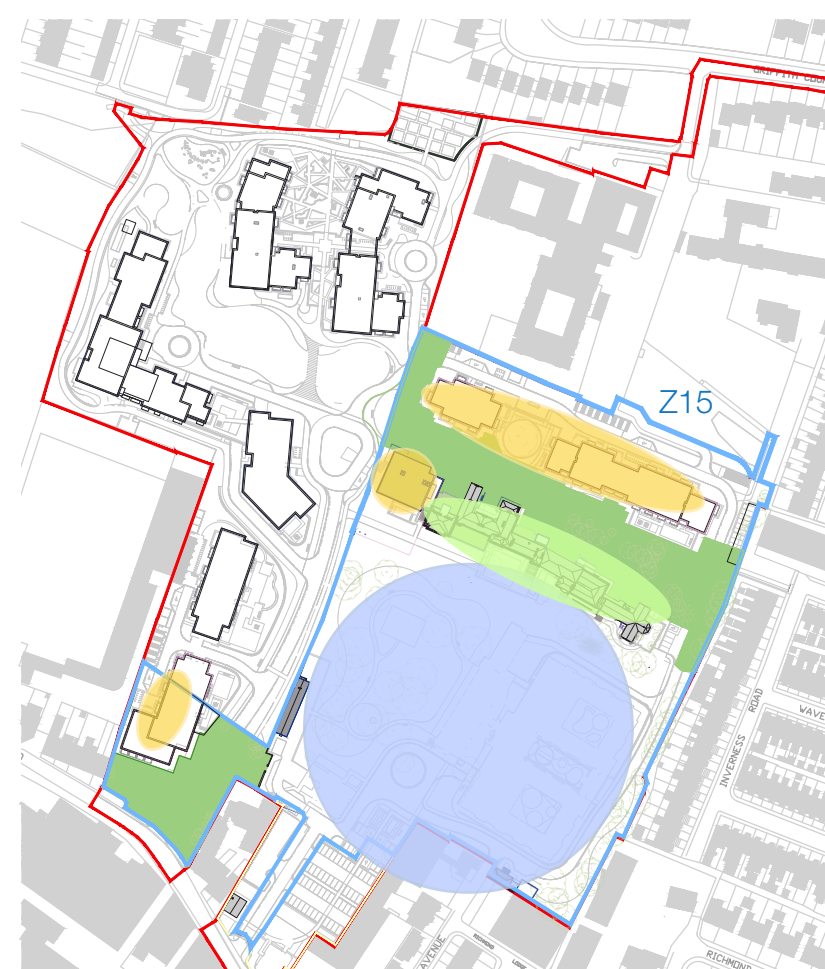


Footprint of uses within Z15 Lands - Residential / Commercial is subordinate

As illustrated in the drawing on the previous page, the residential and commercial development proposed in Block A, J, K H and L with a footprint of 3,800sq.m, which are contained on the Z15 zoned portion of the overall lands, are also subordinate to the primary institutional and community uses in terms of building footprint on the Z15 zoned land. The footprint of the new Hospital providing mental health services facility is 4,556 sq.m. The proposed development includes the retention, repurposing and refurbishment of a number of structures and protected structures on the Z15 lands with a total gross floor area of 5,050 sq.m, including St. Vincent's Hospital buildings, part of which is a protected structure under RPS Ref.: 2032, Brooklawn (RPS Ref.: 8789), Richmond House (RPS Ref.: 8788), the Laundry Building, Rose Cottage and Richmond Gate Lodge. The footprint of the community uses within the refurbished hospital building is 1,475 sq.m. The area of public open space on the Z15 zoned portion of the land is c.6,400 sq.m.

This provides a total building footprint of 9,831 sq.m for existing and proposed community and social infrastructure associated with the institutional use. The residential and commercial development within Z15 lands has a building footprint of 3,800 sq.m which is 39% of the total building footprint on Z15 lands. It is therefore submitted that the institutional use will remain as the primary use on the land, with the residential use being subordinate."

The proposed residential buildings are located around the perimeter of the Z15 Lands with the new Hospital providing mental health services and refurbished Protected Structures in the centre. They are subordinate based on the siting / location relative to the primary institutional uses on the Z15 zoned lands and are necessary to enhance the function/operational viability of the primary institutional use on the lands.



- Medical
- Community Uses
- Public Open Space
- Residential / Commercial Uses

Section 11.5.1 of the Development Plan states that "In finding the optimum viable use for protected structures, other land use policies and site development standards may be relaxed to achieve long-term conservation". As, this development includes the restoration and reuse of the protected structures, flexibility to the land use policies can be applied, further supporting residential development on part of the Z15 zoned portion of the lands.

See Section 2.d) on the following pages for further details.



Main Original Hospital Building to provide Residential Amenities, Gym and Co-working



Chapel refurbished as Community Hall

2.0 Dublin City Development Plan 2022-2028

2a and 2b

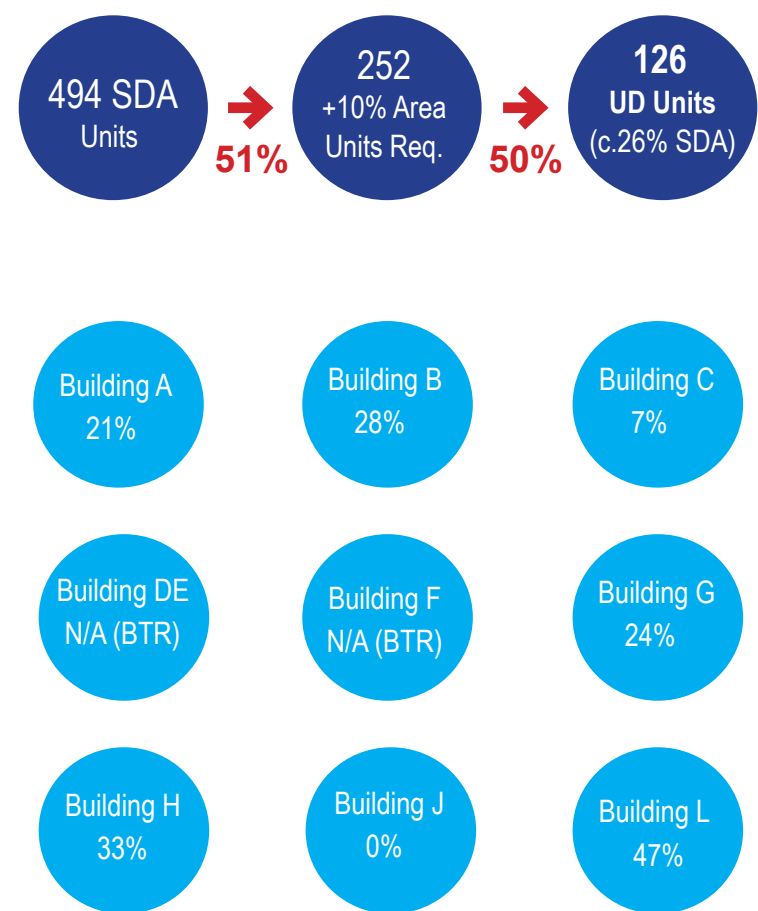
Please also refer to JSA's Planning Report & Statement of Consistency and JSA's Statement of Response to the LRD Opinion for further details.

2c

The relevant apartments shall be designed to be adaptable, rather than being capable of being adapted. The criteria set out within QHSNO11 does not extend to the design of the lift cores.

QHSNO11 Universal Design

To ensure that 50% of apartments in any development that are required to be in excess of minimum sizes should be designed to be suitable for older people/mobility impaired people, people living with dementia and people with disabilities in accordance with the guidelines set out in the Universal Design Guidelines for Homes in Ireland 2015, the DHLG&H's Design Manual or Quality Housing 2022 and the DHP&LG & DH's Housing Options for Our Ageing Population Policy Statement 2019.



Universal Design Introduction

This chapter demonstrates compliance with Objective ‘QHSNO11 – Universal Design’ of the DCC Development Plan by way of a representative selection of apartments from all Standard Design Apartment blocks within the scheme.

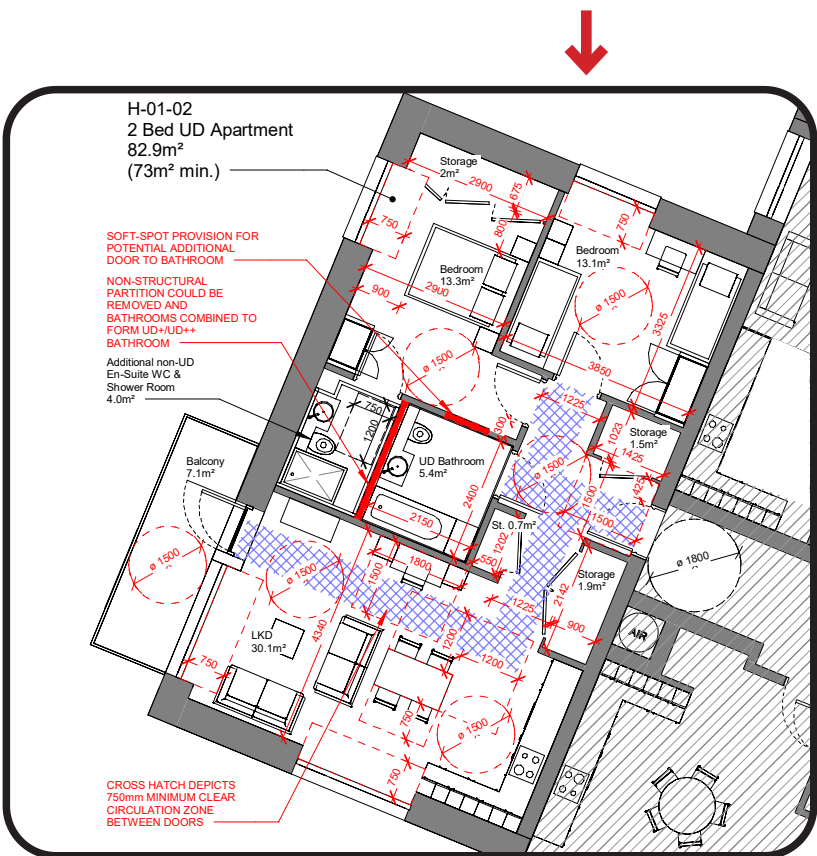
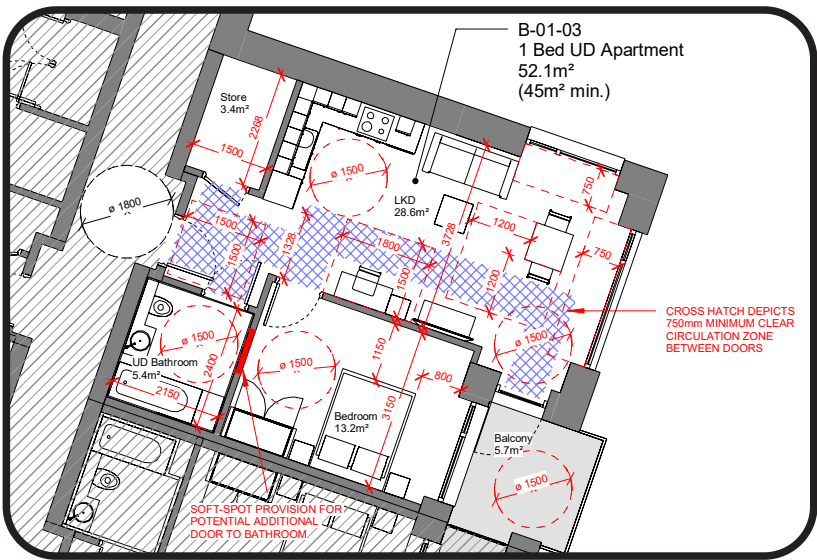
Universal Design Framework

References:

- Technical Guidance Document Part M of the Building Regulations
- The relevant guidance in the Design Manual for Quality Housing published by the Department of Housing, Local Government and Heritage on 21/01/2022
- The relevant guidance in the NDA (National Disability Authority) Housing and Universal Design guidelines 2015.
- DHP&LG & DH’s Housing Options for Our Ageing Population Policy Statement 2019
- Policy QHSN25 - Housing for People with Disabilities
- Policy QHSN16 – Accessible Built Environment
- Policy QHSN22 – Adaptable and Flexible Housing
- Policy QHSN23 – Independent Living

Universal Design Example Layouts

The subsequent pages in this report depict 6 sample UD apartment floor plans, which are a representative selection of the UD apartment types across the development. These 6 UD samples demonstrate the detailed spatial principles applicable to all Universal Design apartments throughout the development. Refer to the GA floor plan drawings of each apartment block for all UD apartment locations and layouts.



- Middle Left Images - Examples of UD 1 Bedroom and UD 2 Bedroom Apartment plans from DHLG&H's Design Manual for Quality Housing 2022

- Top Left Image - Proposed sample UD 1 Bedroom Apartment plan

- Bottom Left Image - Proposed sample UD 2 Bedroom Apartment plan

- Top Right Image - Proposed sample UD 1 Bedroom Apartment artist's impression of LKD room (Fit-out elements are notional)

- Bottom Right Image - Proposed sample UD 2 Bedroom Apartment artist's impression of LKD room (Fit-out elements are notional)

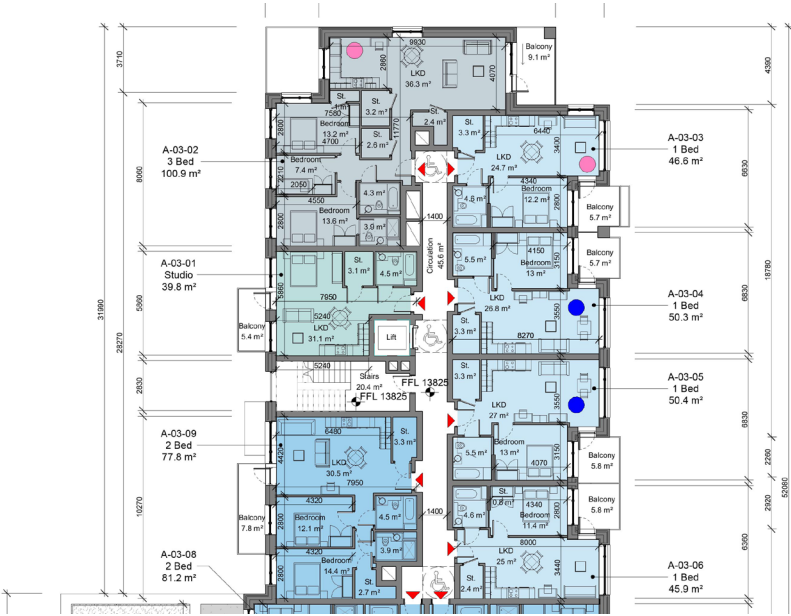


Site Plan - Typical Floor - Universal Design Apartment Locations



Universal Design Units Universal Design Units detailed in this report

In the GA Floor Plans, each UD apartment is identified by a blue dot - see below.



Typical GA Floor plan showing blue dots in every UD apartment.

UNIVERSAL DESIGN SDA	Sub-Total	Block A	Block B	Block C	Block DE
	26%	21%	28%	7%	
	126	12	24	6	

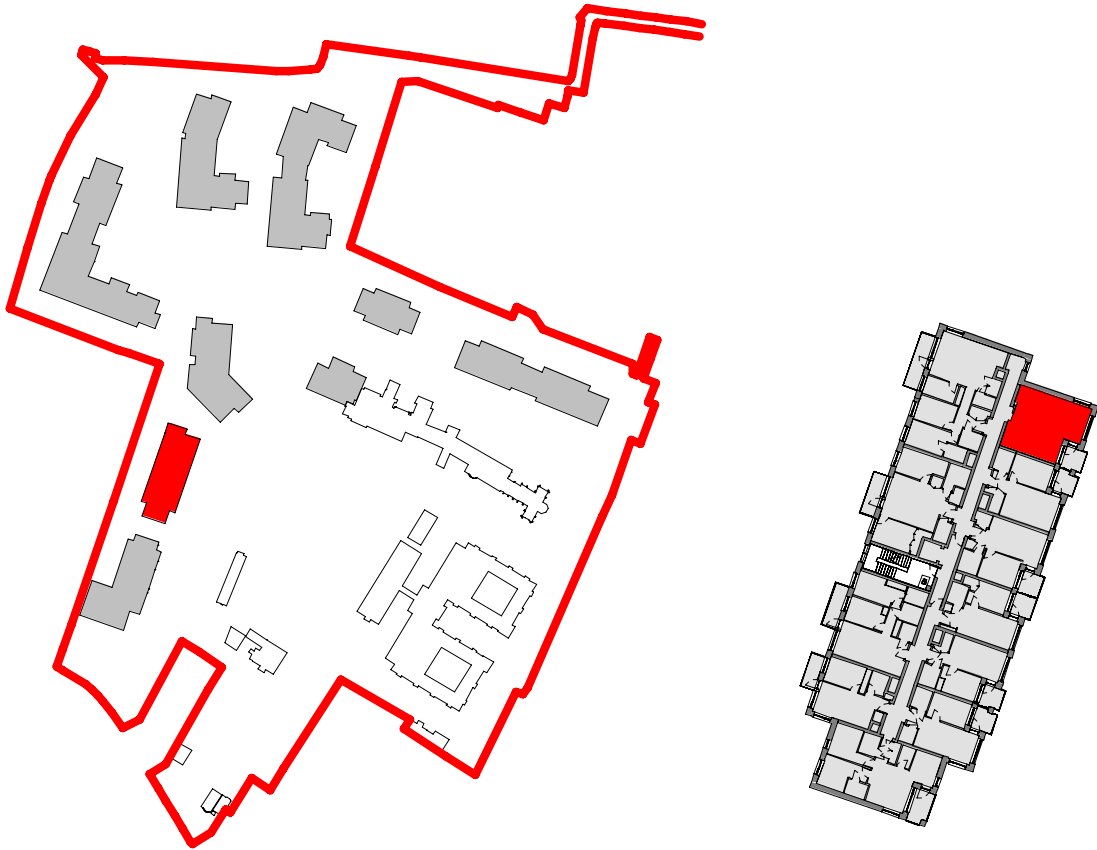
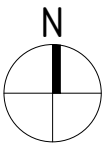
Block F	Block G	Block H	Block J	Block L
	24%	33%	0%	47%
	34	10	0	40

UD MIX PER BLOCK		Studio	1 Bed	2 Bed	2 Bed 3p	3 Bed
Block A	12	0	12	0	0	0
Block B	24	0	15	8	1	0
Block C	6	0	0	6	0	0
Block G	34	0	21	9	4	0
Block H	10	0	1	9	0	0
Block L	40	0	13	11	0	16

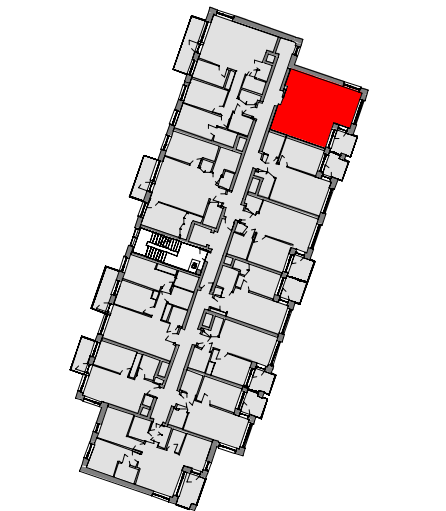
UNIVERSAL DESIGN TOTAL		Studio	1 Bed	2 Bed	2 Bed 3p	3 Bed
	126	0	62	43	5	16
		0.0%	49.2%	34.1%	4.0%	12.7%

54% of all UD apartments are dual aspect

Sample Apartment No. 1 - 1 Bedroom UD Apartment - Block B



KEY PLAN - BLOCK B
SCALE: 1 : 5000

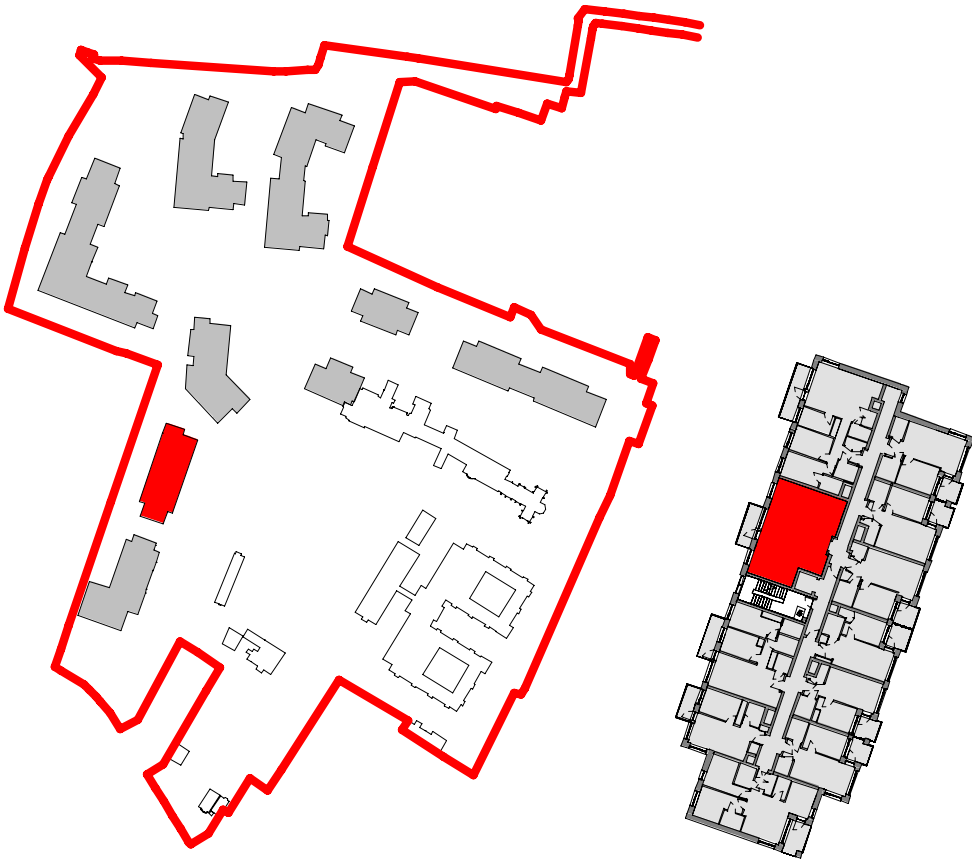
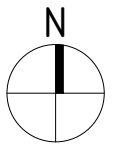


2 B Floor Key - Unit B-01-03
SCALE: 1 : 1000



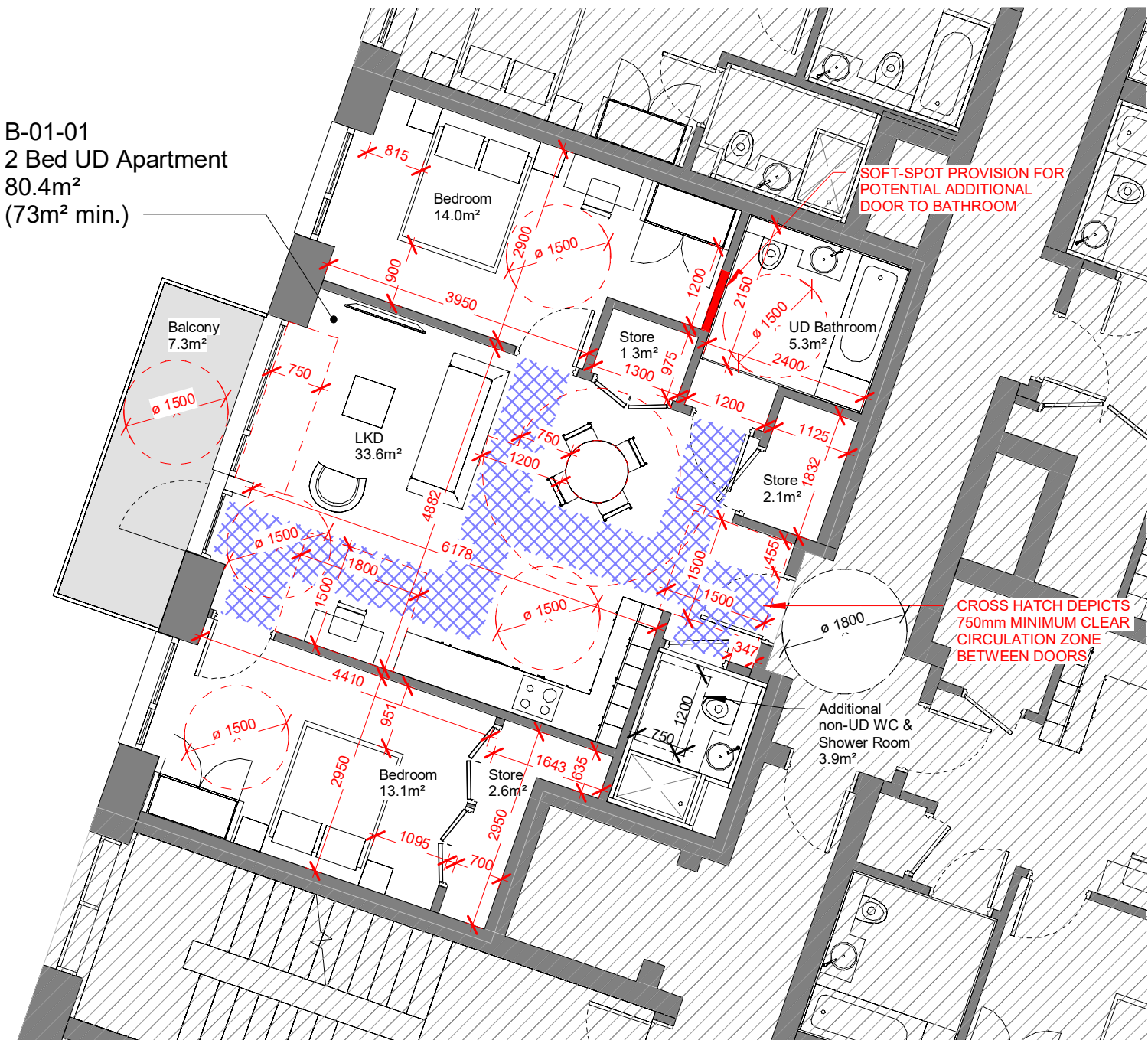
1 B Apartment Floor Plan - 1 Bed - Unit B-01-03
SCALE: 1 : 100

Sample Apartment No. 2 - 2 Bedroom UD Apartment - Block B



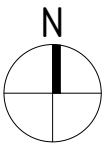
KEY PLAN - BLOCK B
SCALE: 1 : 5000

2 B Floor Key - Unit B-01-01
SCALE: 1 : 1000

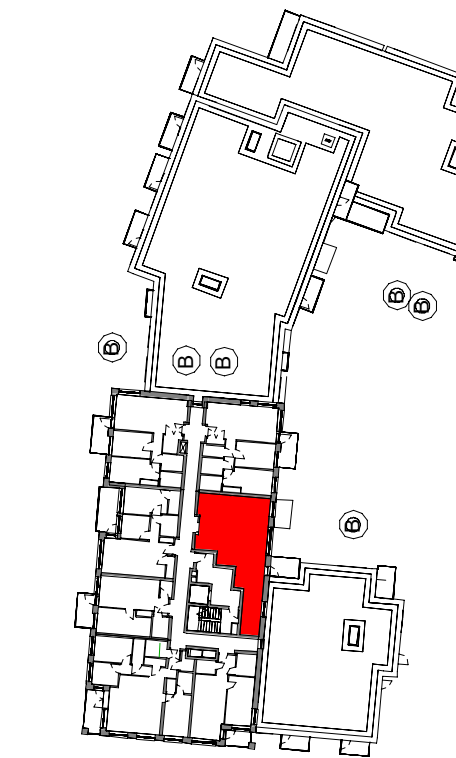


1 B Apartment Floor Plan - 2 Bed - Unit B-01-01
SCALE: 1 : 100

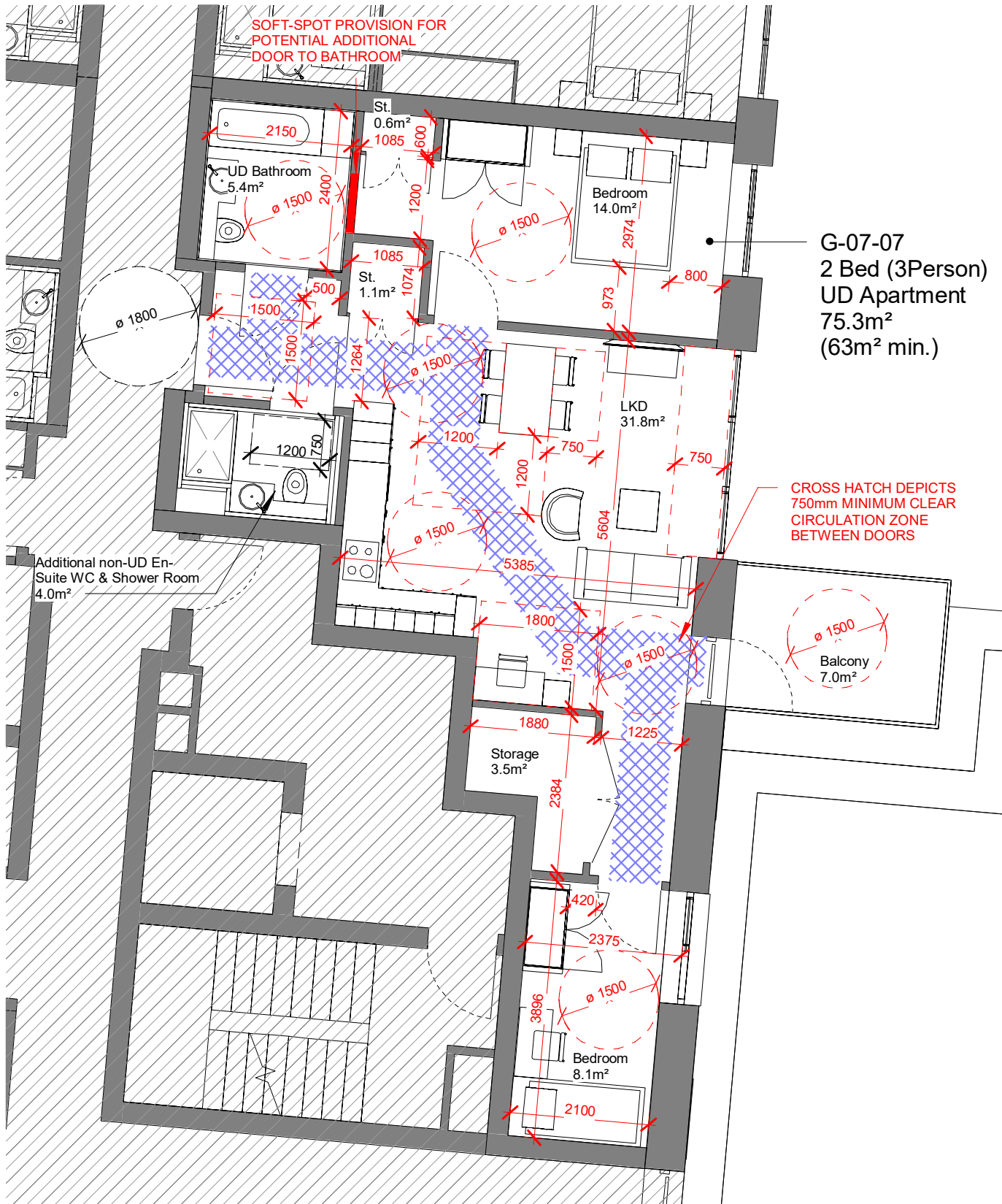
Sample Apartment No. 3 - 2 Bedroom (3 Person) UD Apartment - Block G



KEY PLAN - BLOCK G
SCALE: 1 : 5000

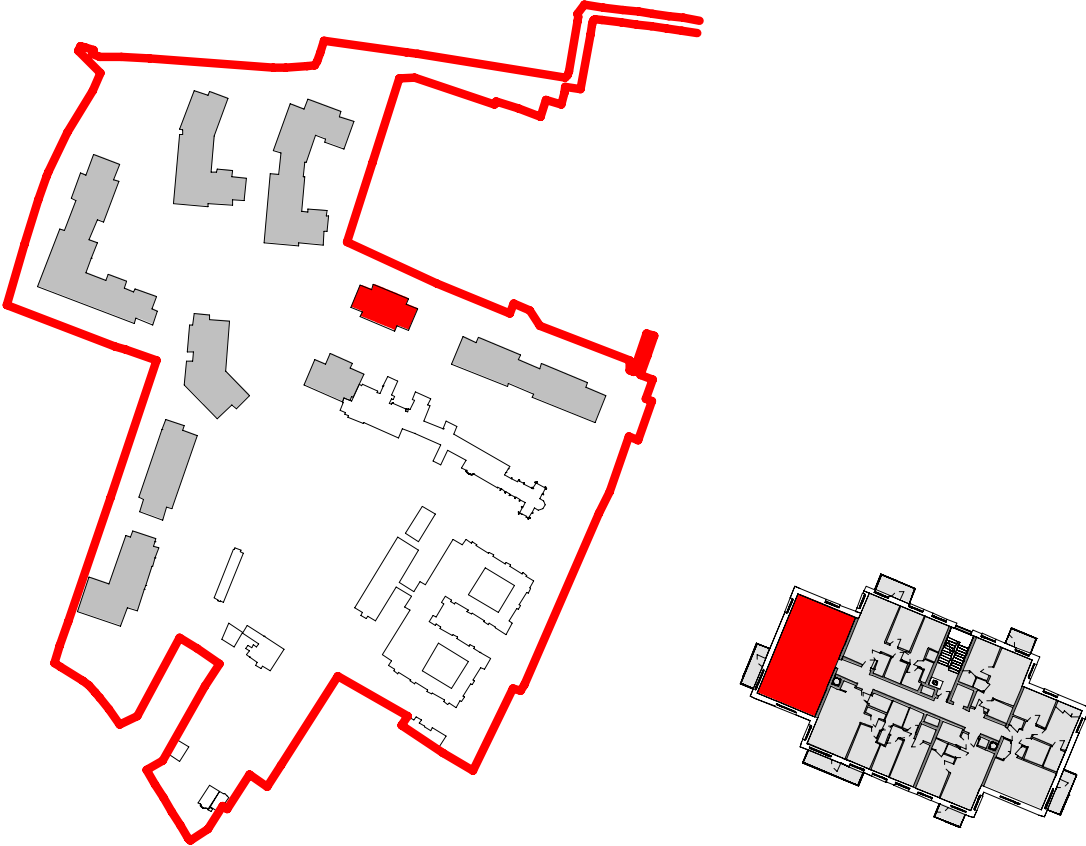
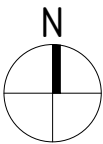


1 G Floor Key - Unit G-07-07
SCALE: 1 : 1000

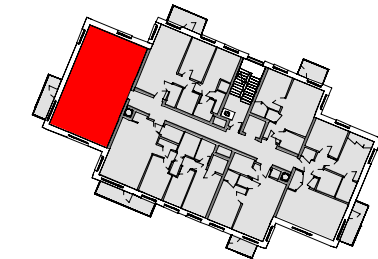


2 G Apartment Floor Plan - 2 Bed, 3 Person - Unit G-07-07
SCALE: 1 : 100

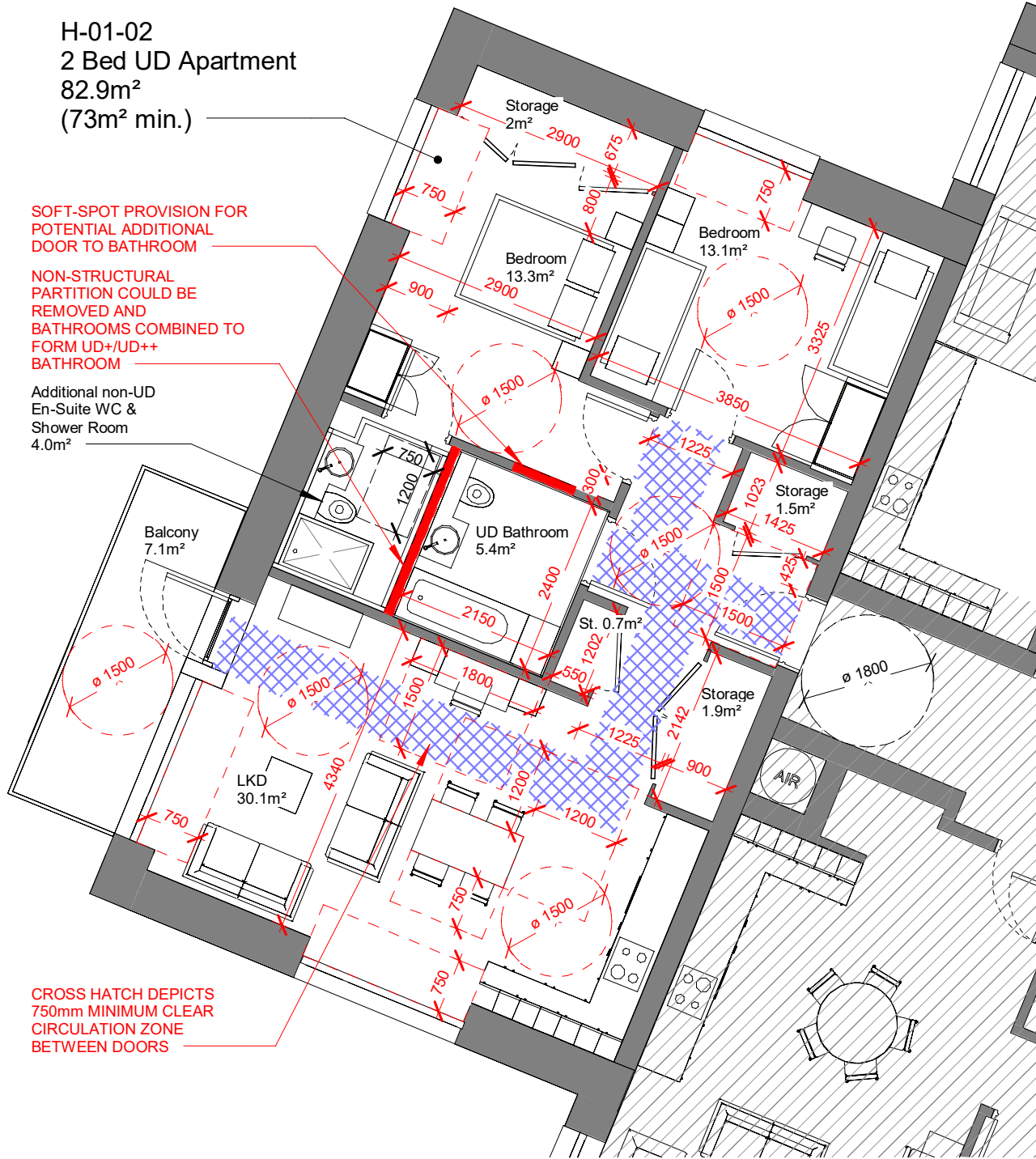
Sample Apartment No. 4 - 2 Bedroom UD Apartment - Block H



KEY PLAN - BLOCK H
SCALE: 1 : 5000

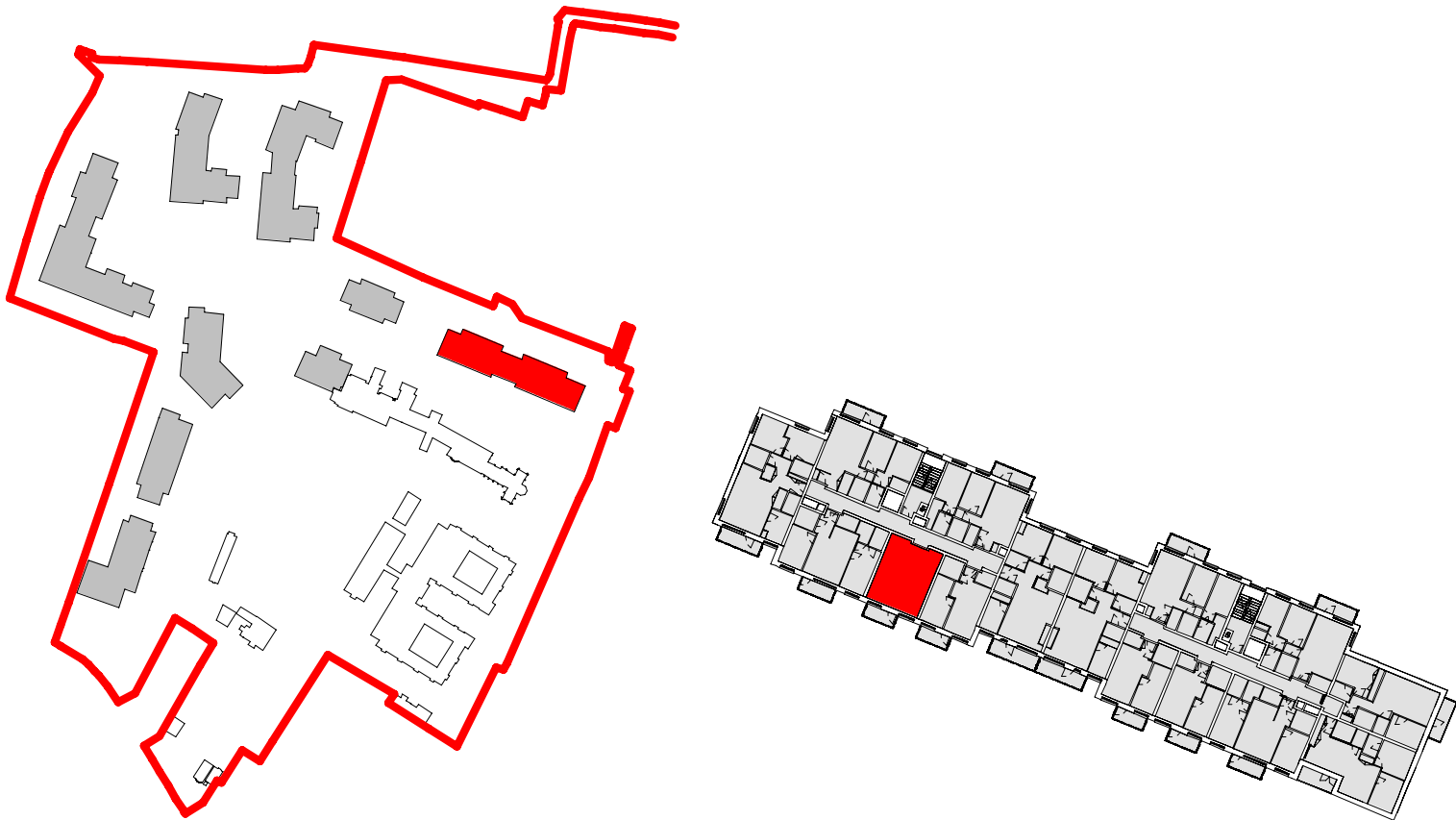
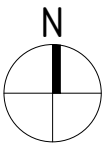


H Floor Key - Unit H-01-02
SCALE: 1 : 1000



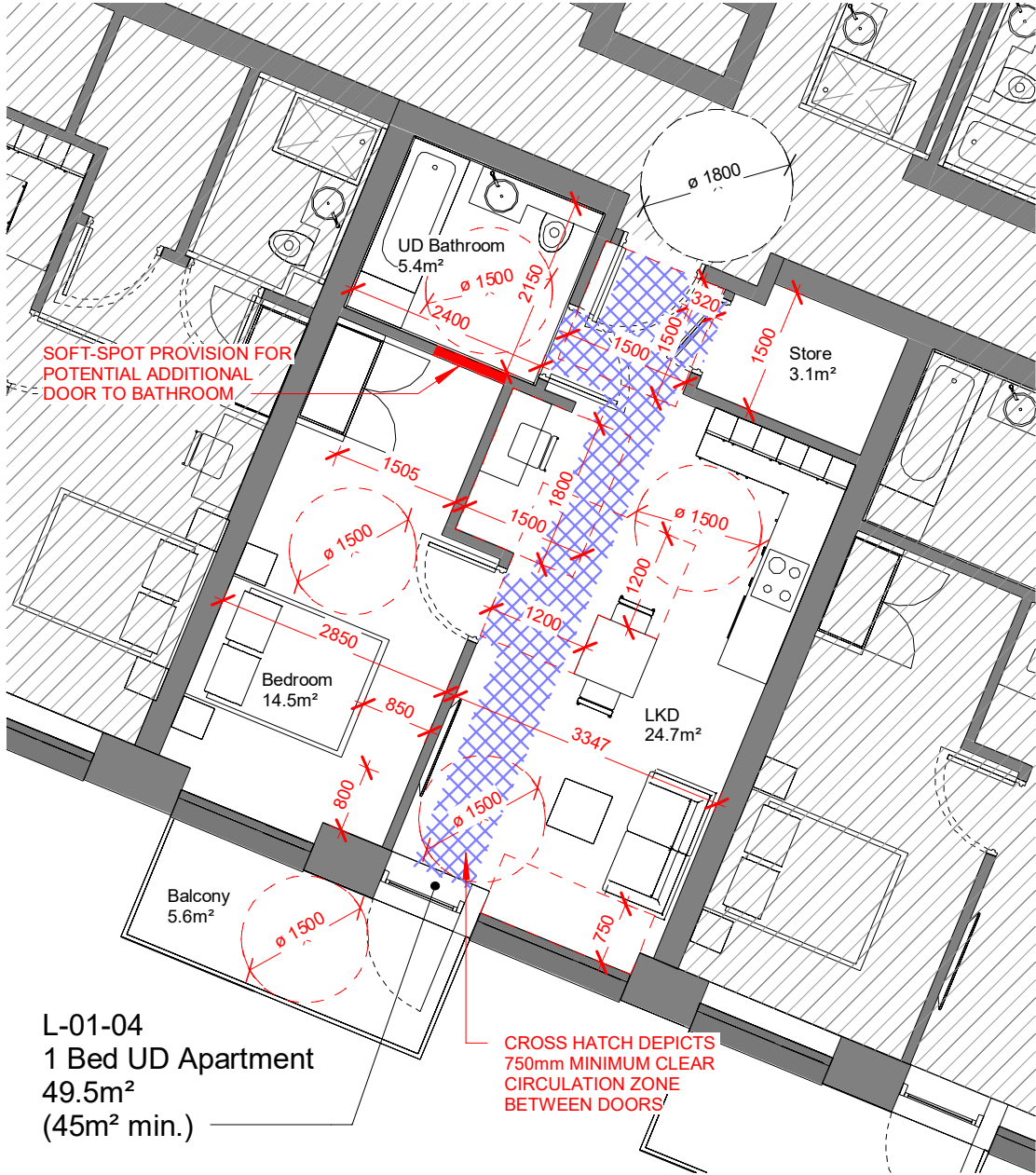
H Apartment Floor Plan - 2 Bed - Unit H-01-02
SCALE: 1 : 100

Sample Apartment No. 5 - 1 Bedroom UD Apartment - Block L



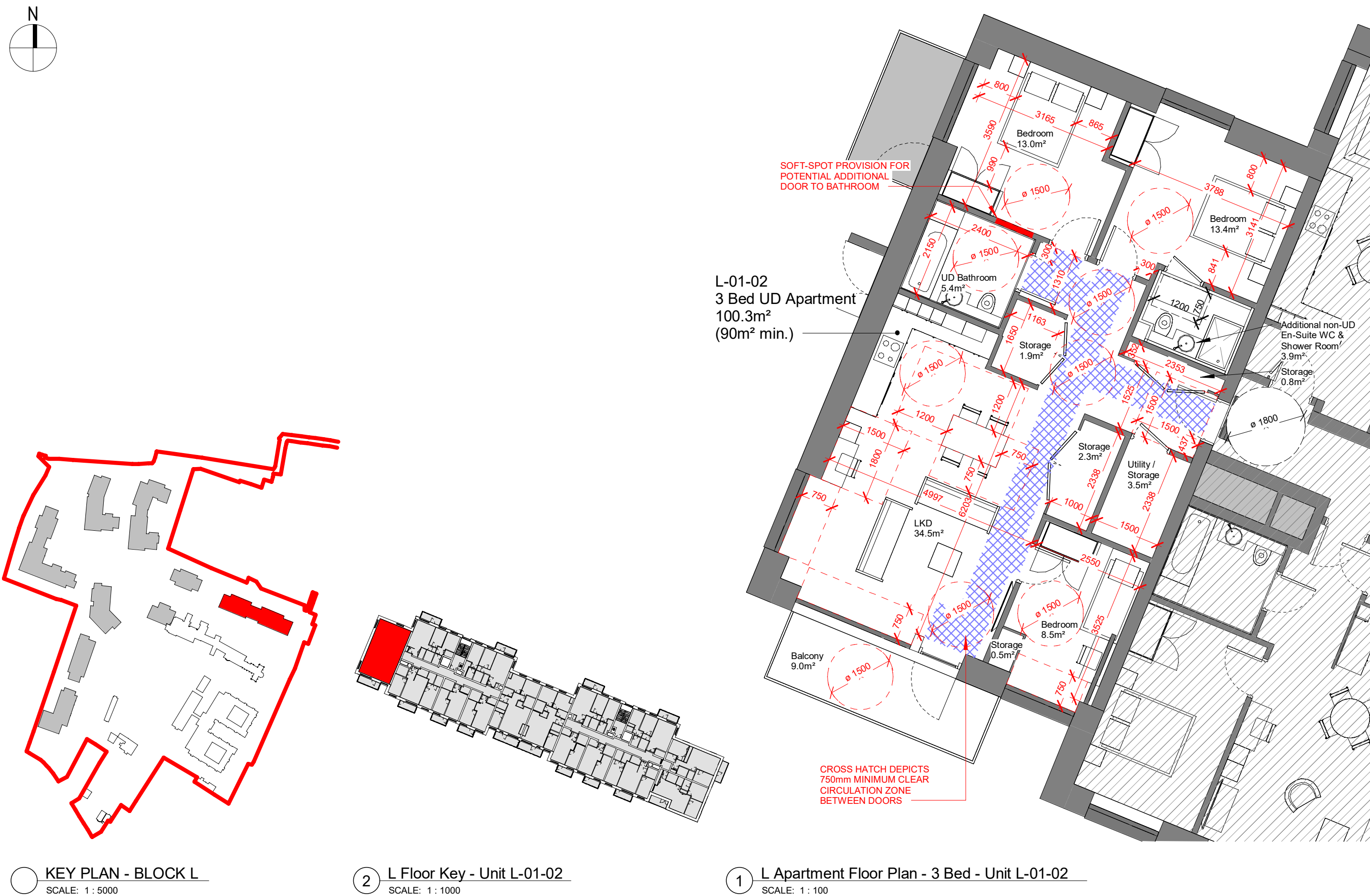
KEY PLAN - BLOCK L
SCALE: 1 : 5000

L Floor Key - Unit L-01-04
SCALE: 1 : 1000



L Apartment Floor Plan - 1 Bed - Unit L-01-04
SCALE: 1 : 100

Sample Apartment No. 6 - 3 Bedroom UD Apartment - Block L



2. d) CUO25 – SDRAs and Large Scale Developments

‘The Social and Community Infrastructure Audit/Assessment should include the total site in measurements. The childcare facility should not contribute to the overall provision. More weight should be given to the overall proposals within the site including the refurbishment of existing buildings and the provision of a new hospital facility that would on balance provide a wider planning gain across the site towards meeting CUO25.’

The Development Plan contains the following Objective:
Objective CUO22 requires 5% of floorspace for cultural/ artist and community use.

GIA for Hospital Site =	8,411 m²
GIA for Residential Site =	74,954 m²
Total GIA =	83,365m²
5% of GIA =	4,168m²

The following areas and functions are proposed to comply with this requirement.

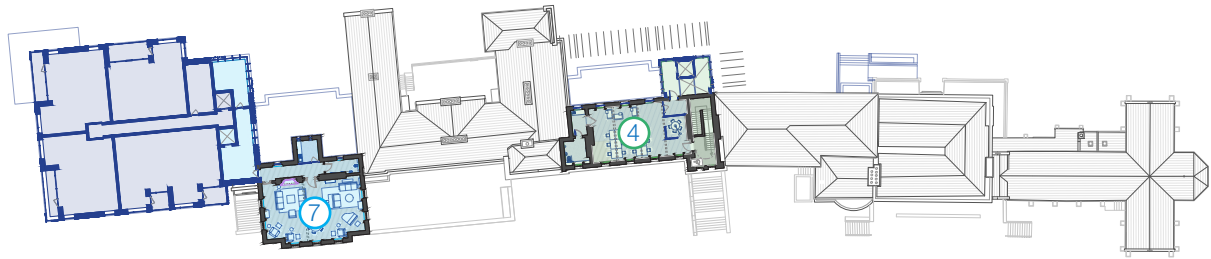
	Cultural/Community	Building	Area
1	Community Hall	K4	243 m²
2	Community Library	K2	163 m²
3	Cafe	K2	160m²
4	Co-working	K2	817 m²
5	Gym	K1	1,459m²
6	New Hospital		8,411m²
Total			11,253m²



Photo of existing Chapel to be refurbished and used as new Community Hall



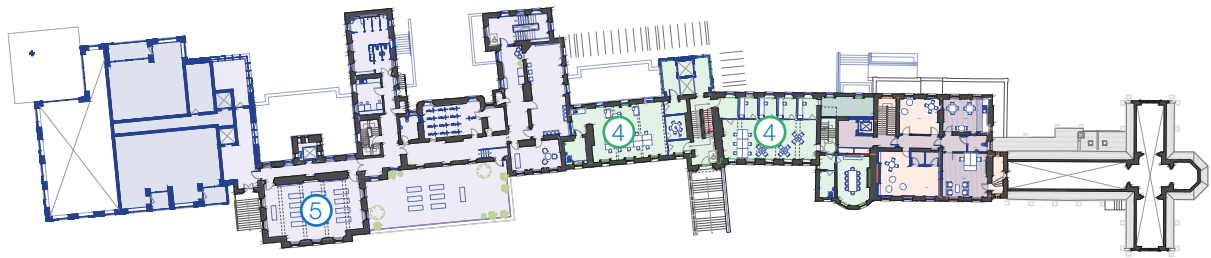
Photo of existing Chapel to be refurbished and used as new Community Hall



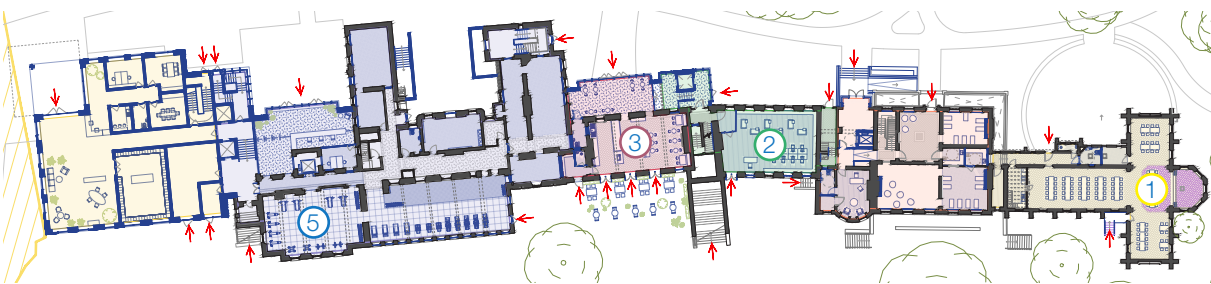
Proposed Third Floor Plan & Functions



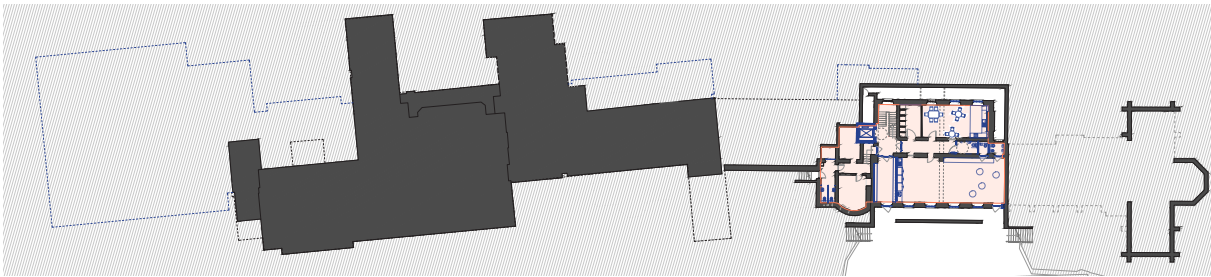
Proposed Second Floor Plan & Functions



Proposed First Floor Plan & Functions



Proposed Ground Floor Plan & Functions



Proposed Basement Plan & Functions

Therefore the total proposed area of 11,253 m², which includes a broad range of community uses from a Community Hall to the new Hospital providing mental health services greatly exceeds the minimum requirement of 4,168m².

The area provided equates to 13.5% of the overall GIA for the total site.



CGI of refurbished Protected Structure containing Community Uses and entered directly from the Central Park



CGI of new Hospital Building providing mental health services



Site Plan showing all new and repurposed Hospital Buildings

3.0 Design Strategy and Height

a) Justification for heights and density

'In order to justify the heights and densities proposed and to demonstrate that the proposed 'central park' will function as a public open space, it will be critical to demonstrate that the pedestrian routes and connectivity through the site will be delivered as part of the proposed development. In order to ensure the Planning Authority's support of the scheme in this regard, the application shall be accompanied by legally binding documentation assuring the deliverability of the pedestrian connections onto Grace Park Wood, Griffith Court and Lomond Avenue within Phase 1 of the proposed development. It is preferable that such connections are included within the application site area.'

A letter of consent from Targeted Investment Opportunities ICAV has been included with this application to confirm that the proposed route into and through Grace Park Wood is feasible. All associated works will be carried out within the red line.

Links towards Philipsburgh Avenue via Griffith Court are provided within lands owned by the applicant.

A future possible pedestrian and cycle route is also indicated to the East to Lomond Avenue through lands currently used by An Post. A path will be built right up to the boundary to facilitate easier future connection.

The proposed connections, extent and form of public Central Park and associated higher buildings are consistent with the Site Masterplan - see extract from Masterplan Report below.

See also Section 4.5 Circulation and Permeability in the Architectural Design Statement for a detailed description of the proposed links.



Extract from Masterplan



3.0 Design Strategy and Height

b) Justification for heights and density

Justification for the increase in the number of storeys to Blocks A, B, C, J, the northern section of Block F and the central corner of Block DE from earlier pre application consultations with consideration given to the sensitive location of some of these blocks to existing neighbouring residential development.

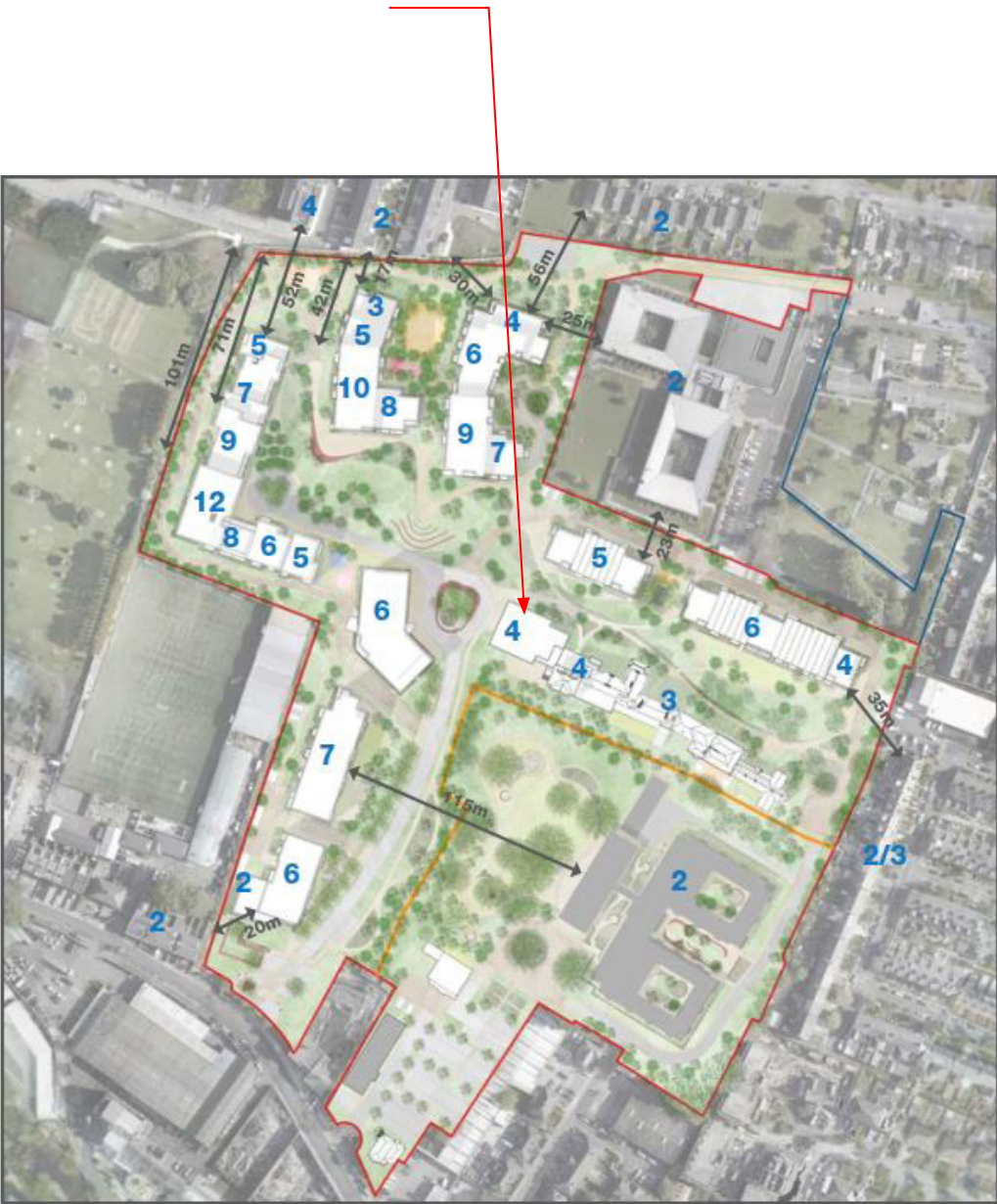
The proposed development responds to the **Performance Criteria in Assessing Proposals for Enhanced Height, Density and Scale** - Table 3 in Appendix 3 of the DCC Development Plan. In consultation with STW, Modelworks prepared this assessment, which is in Table 11.8 in EIAR Chapter 11.

Building J

See excerpt below from the Pre-planning meeting held on the 12th October 2021. Similar storey heights were consistently proposed in subsequent pre-planning meeting in Dec 2021, Jan 2022 and May 2022 - except in the meeting on the 24th May where Building J was reduced to 4 storeys to ensure its parapet was lower than the parapet of the adjoining Protected Structure.



Exerpt from STW presentation to DCC on 12th Oct 2021



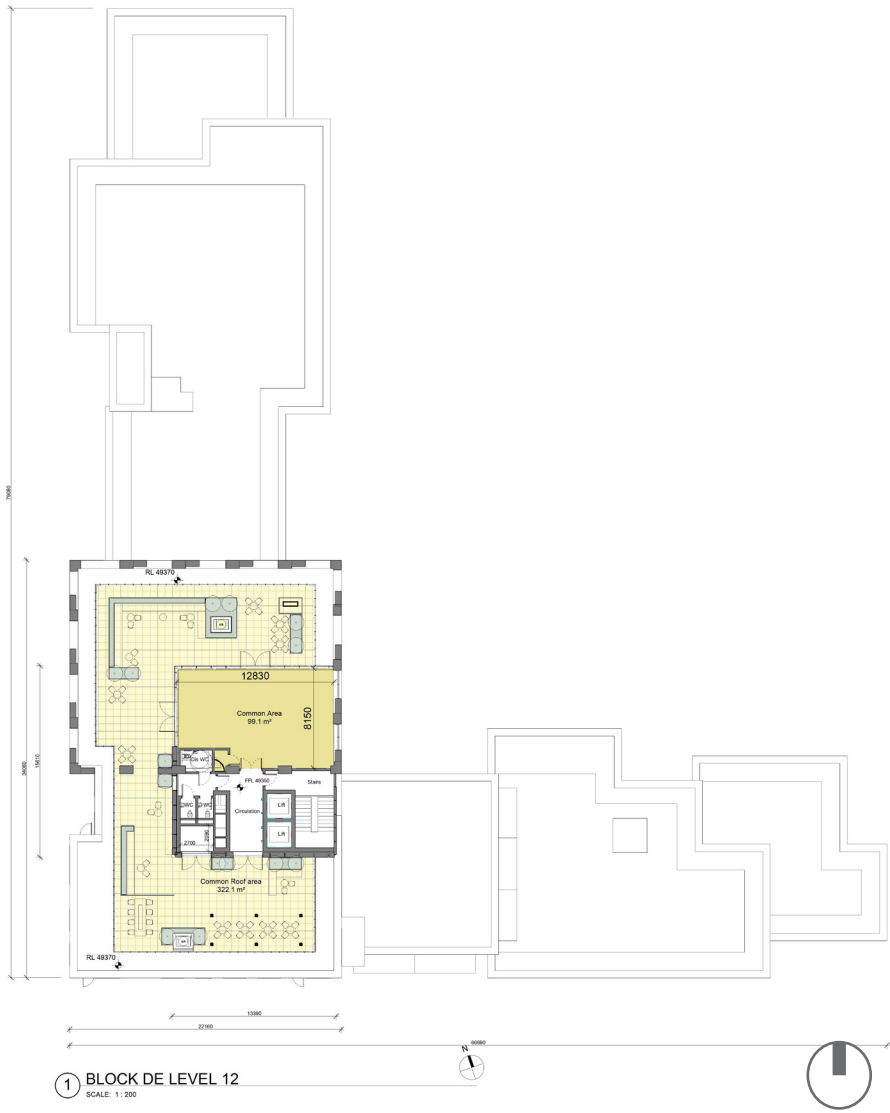
Exerpt from STW presentation to DCC on 24th May 2022

Building DE

In pre-planning meetings, as shown on the previous page, Building DE was described as 12 stories high. This described the 12 levels of residential accommodation.

However, in the LRD Pre-application submission, the description was revised to ‘13 stories’ to take account of the small pavilion on the roof which provides access to the topmost floor terrace. See floor plan of this top floor below. The design and drawings of this building have not changed and the building has not increased in height. The rooftop pavillion provides an amenity space that reinforces the usability of the rooftop terrace for the residents.

This uppermost level plays a key role in the aesthetic appearance of the building and creates a more slender, vertical proption - see Section 4.4 Scale and Massing in the Architect’s Design Statement SVRD-STW-XX-XX-RP-A-022001.



The current application includes one additional full storey on Buildings A and B, a set-back additional storey on Building C and a partial additional storey on the northern elements of Building F.

Buildings A and B

Following additional analysis and design - including a series of verified views prepared by Modelworks - it was determined that additional height on A and B was justified due to:

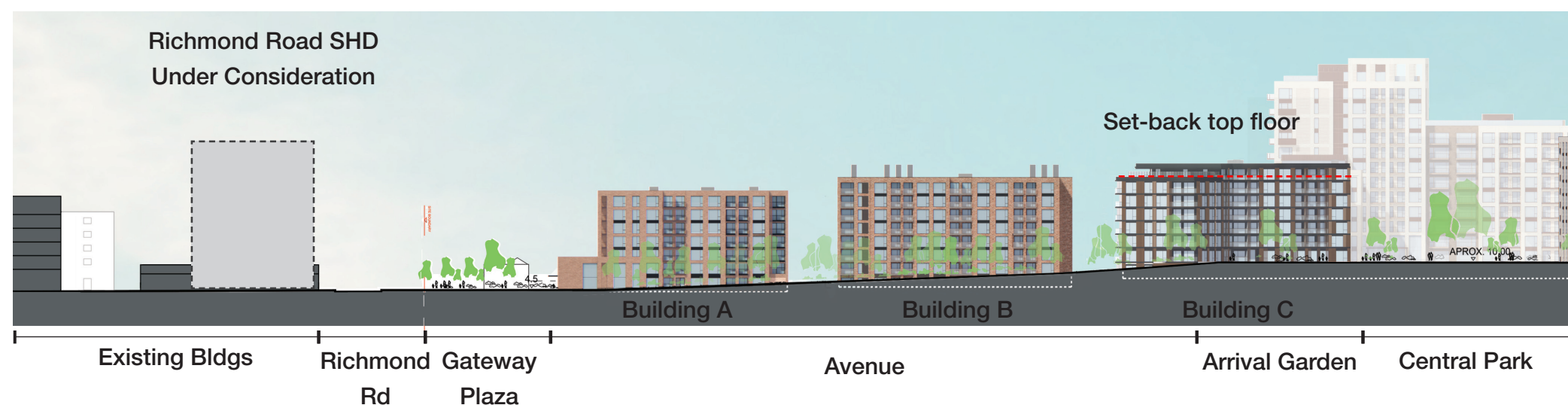
- the distance of these buildings from the proposed new Hospital providing mental health services (approx 120m), especially given the extent of existing and proposed landscaping.
- the existence of commercial buildings and football club immediately to the west. (Note that Building A has been located so that its eastern facade does not overlook the rear gardens to the nearby existing terraced houses to the east. (See Section 4 a of this report.)
- the avenue follows the natural topography of the site and rises from its lowest point at the Richmond Road entrance to the Arrival point in the heart of the Central Park. The ground floors of buildings A and B are entered at the lowest - Richmond Road - level and therefore appear to be a full storey lower as viewed from the avenue, reducing their visual impact.
- The 2-storey element to the south of Building A relates to the adjacent terraced houses while the 7-storey residential element relates to the 9/10 storey on the Richmond Road SHD and LRD on the other side of Richmond Road. These applications are represented in the 'cumulative' versions of the relevant verified views - see yellow massing indicated in top left of Verified View No. 3 opposite.

Building C

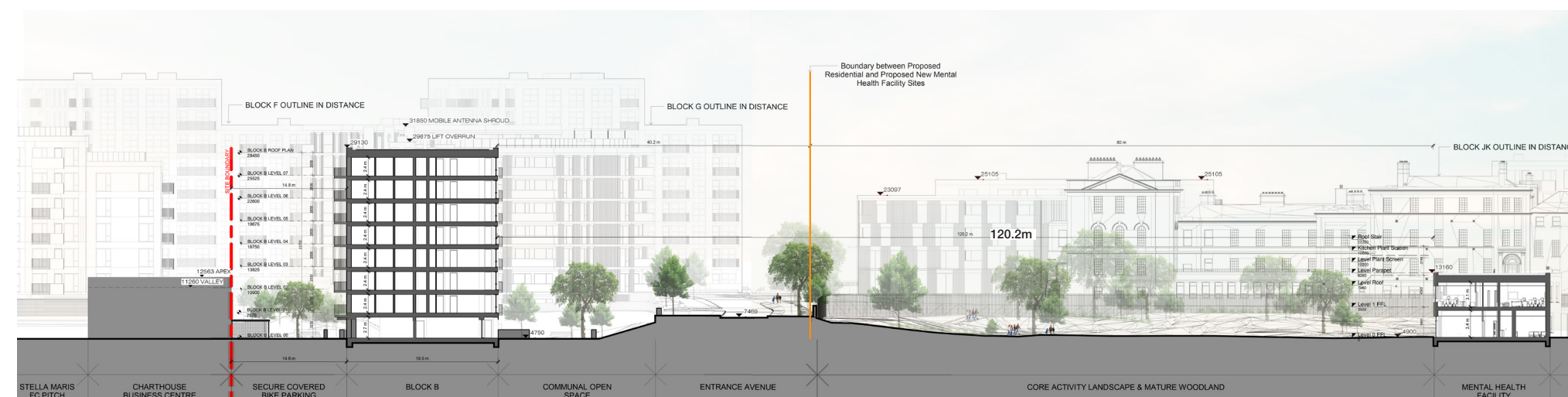
- The additional partial floor on Building C is designed so that the additional floor relates to the large Central Park north of the building, with a set-back facing east towards the entrance avenue, protected structures and new Hospital providing mental health services.



Verified View No.3 from Richmond Road to the East



North-south Site Section



East-west Site Section through Building B and the new Hospital providing mental health services (See Drawing SVRD-STW-ST-ZZ-DR-025002)

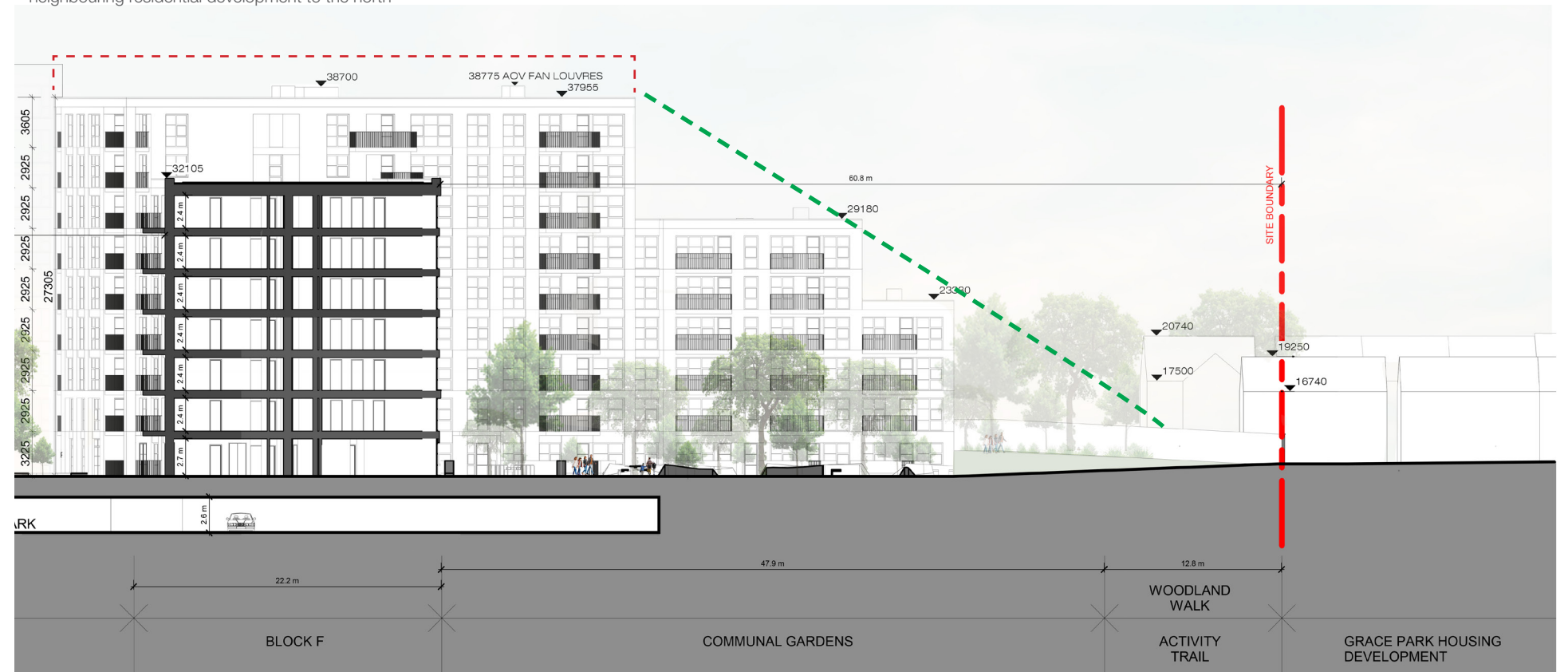
Building F

In response to pre-planning consultations, subsequent detailed analysis and design of the scheme, we have re-evaluated the overall massing of Building F based on the following reasons:

- In response to the topography of the subject site, the ground floor level of Building F is below that of the nearby houses in Grace Park Wood, reducing the overall height difference by 0.9m.
- The height of the north-facing 6 and 4-storey elements sit more comfortably against the higher south-facing elements of the building, with the lower roof parapets appearing below the silhouette of the 9-storey element - see the green dashed line in diagram opposite.
- There is an existing 4-storey apartment building on the southern edge of Grace Park Wood (Parapet height 25.1m), which due to the existing topography, is higher than the proposed northern 4-storey element of Building F (Parapet height 23.4m).
- The proposed boundary tree planting (see NMP proposals) is designed to be similar in height to the 4-storey element and provides an effective landscaped visual buffer.
- Following the overall reduction in height of the Southern elements from 6/8/10 storeys to 5/7/9 stories, we felt that the northern 4 and 6-storey elements were appropriate in this location. See also Section 4a) of this report.



The 10th storey which was proposed in the LRD Pre-Application Submission has been removed to reduce any potential overbearance in relation to the existing neighbouring residential development to the north



North-south Site Section through Building F and the boundary with Grace Park Wood (See Drawing SVRD-STW-ST-ZZ-DR-025004)

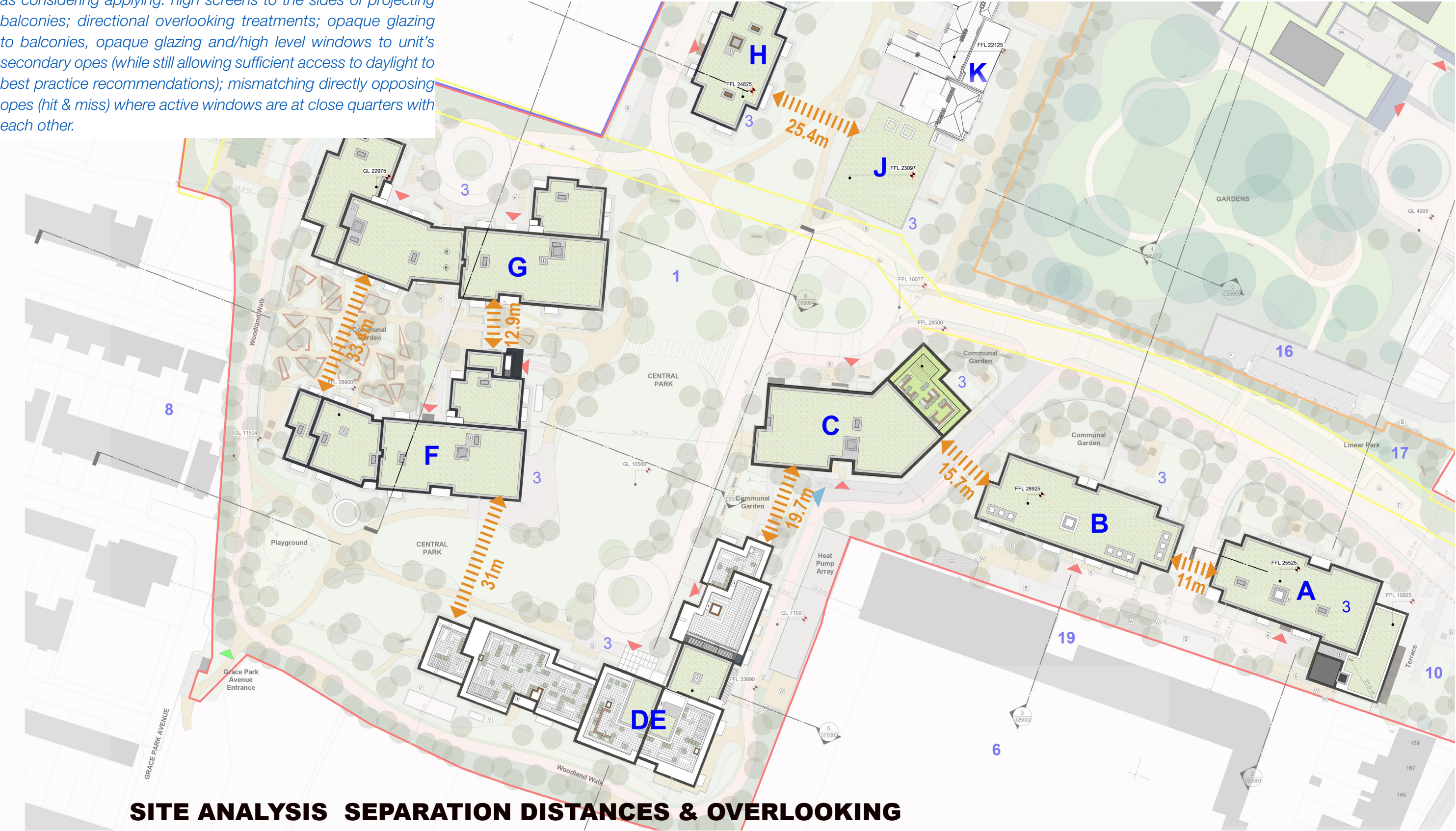
- As shown in Section 3.7 of the Design Statement, the gable of Building F aligns with the gables of the Grace Park Wood houses - see diagram.



c) Future Occupants' Private Amenity

Provide a report which sets out measures to maximise future occupants' private amenity by minimising reciprocal potential overlooking between unit's balconies and window where the blocks' elevations are in close proximity to each other – such as considering applying: high screens to the sides of projecting balconies; directional overlooking treatments; opaque glazing to balconies, opaque glazing and/high level windows to unit's secondary opes (while still allowing sufficient access to daylight to best practice recommendations); mismatching directly opposing opes (hit & miss) where active windows are at close quarters with each other.

This section demonstrates measures to maximise future occupants' private amenity by minimising reciprocal potential overlooking between unit's balconies and windows where the blocks' elevations are in close proximity to each other.





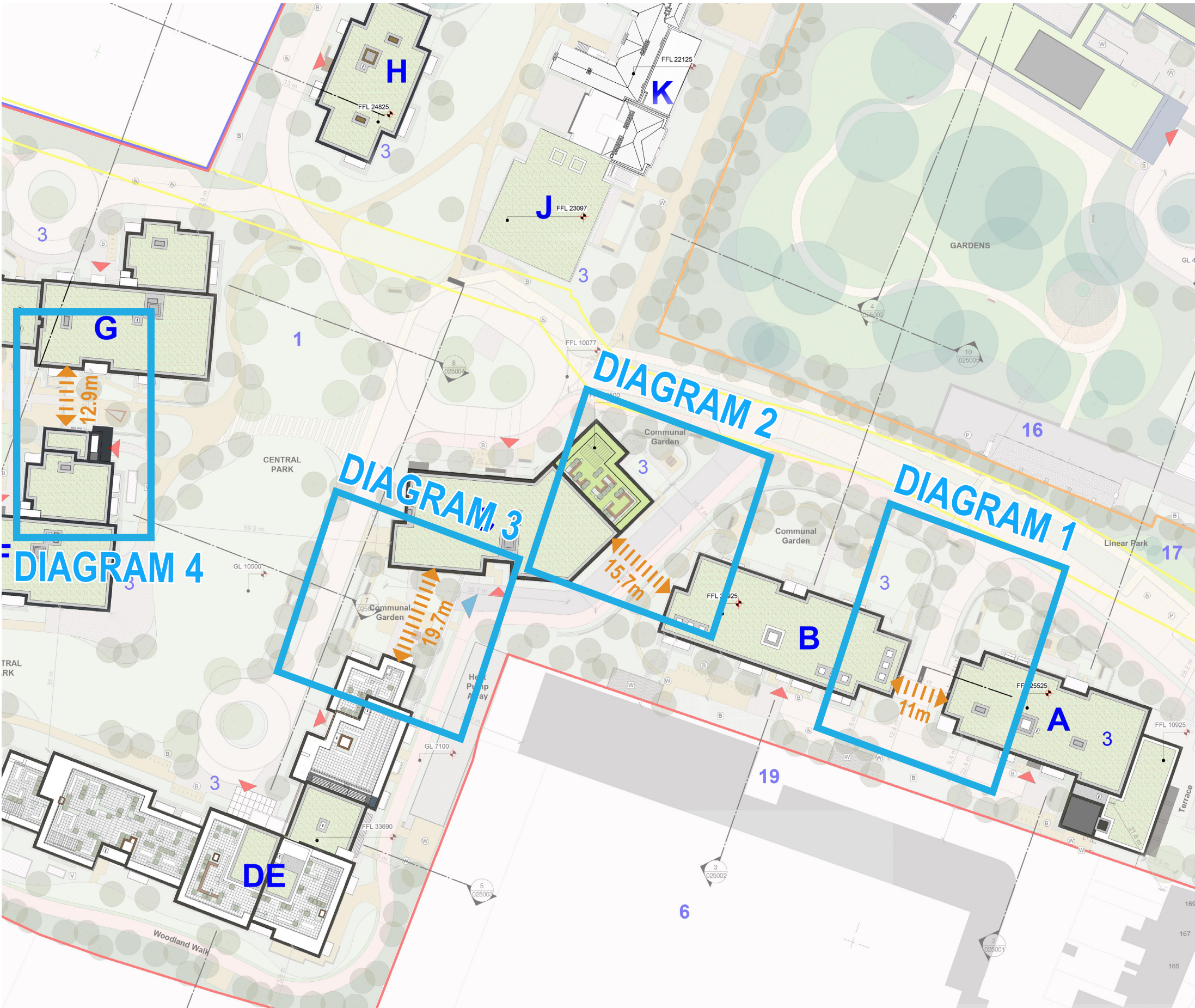
Separation Distances and Overlooking

The proposed apartment scheme aims to maintain the privacy of its residents and to prevent overlooking.

The apartment blocks generally have generous separation distances. Windows and balconies have been placed to prevent overlooking between the blocks where separation distances are smaller.

In compliance with Section 15.9.17 Separation Distances (Apartments) from Development Standards /Chapter 15 of the Development Plan:

- The majority of apartment buildings are a minimum of 22m apart.
- In limited instances, depending on orientation and location in built-up areas, reduced separation distances may be acceptable. Separation distances between buildings were assessed on a case by case basis to ensure compliance with Section 15.9.17.
- Corridor and Staircase windows are non-occupied spaces. However, when these face windows across reduced distances, the glazing is frosted to further ensure the privacy of the opposing unit.



SEPARATION DISTANCES & OVERLOOKING

In dual aspect units, there is a primary aspect and a secondary aspect. Primary aspect is the view from the main living space opening onto a balcony, or the window of a bedroom.

Secondary function is the additional side window into a dual aspect living space.

There are a small number of locations marked on the following pages, where secondary windows face primary windows across a reduced separation distance. In these cases the secondary window are smaller in scale, offset and the secondary window glazing is frosted to ensure the privacy of both units.

DIAGRAM 1

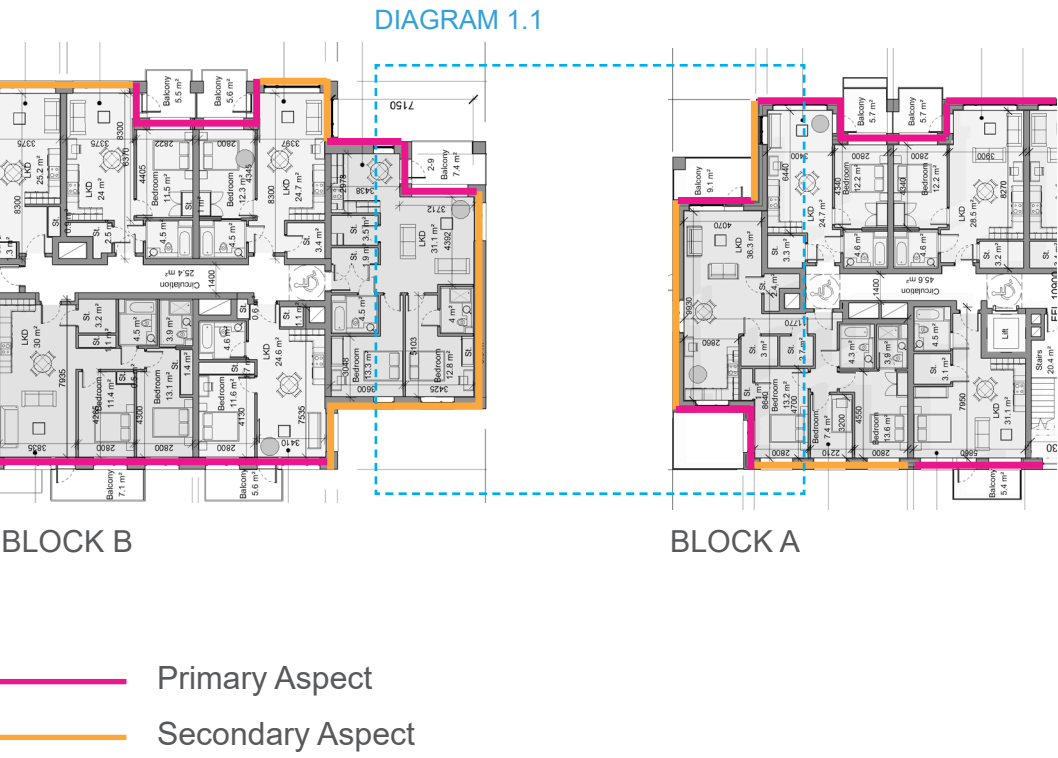
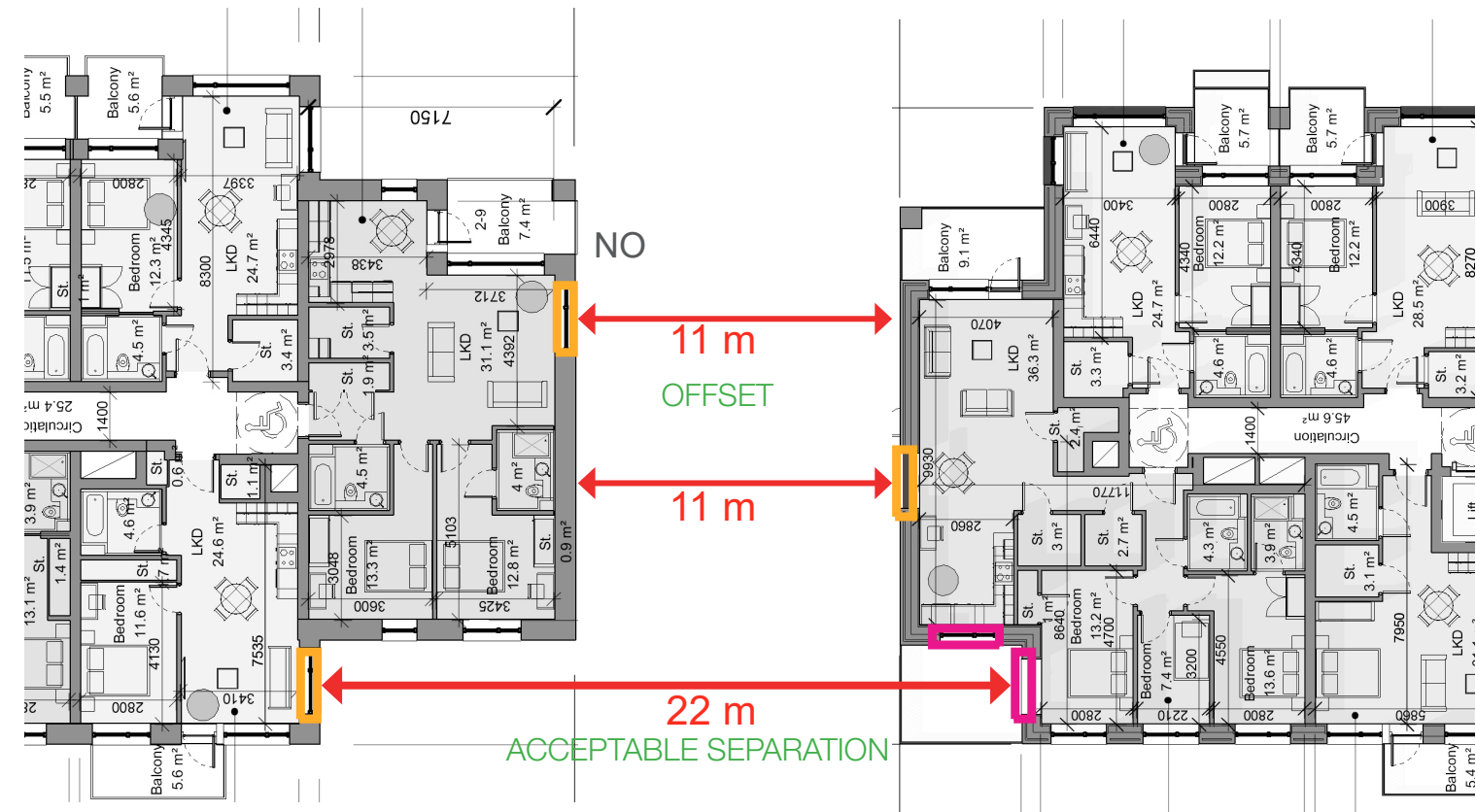


DIAGRAM 1.1

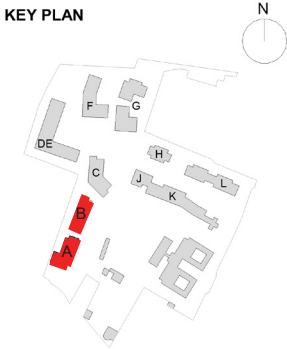


BLOCK B

BLOCK A

- Primary Window
- Secondary Window

TYPICAL FLOOR BLOCK A AND B



SEPARATION DISTANCES & OVERLOOKING

DIAGRAM 2

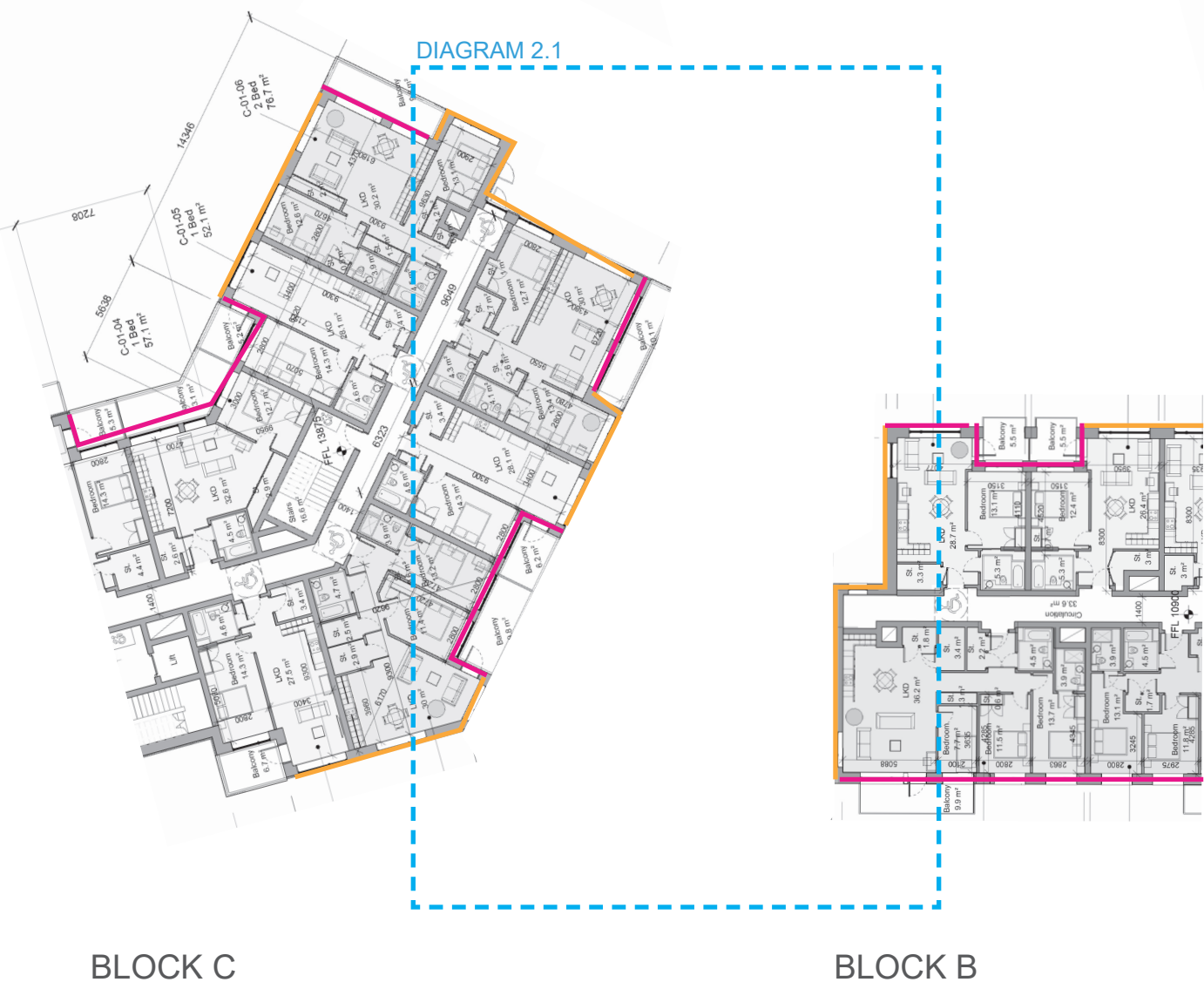
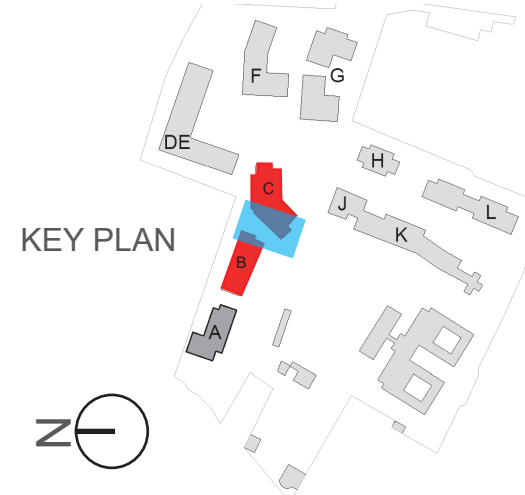
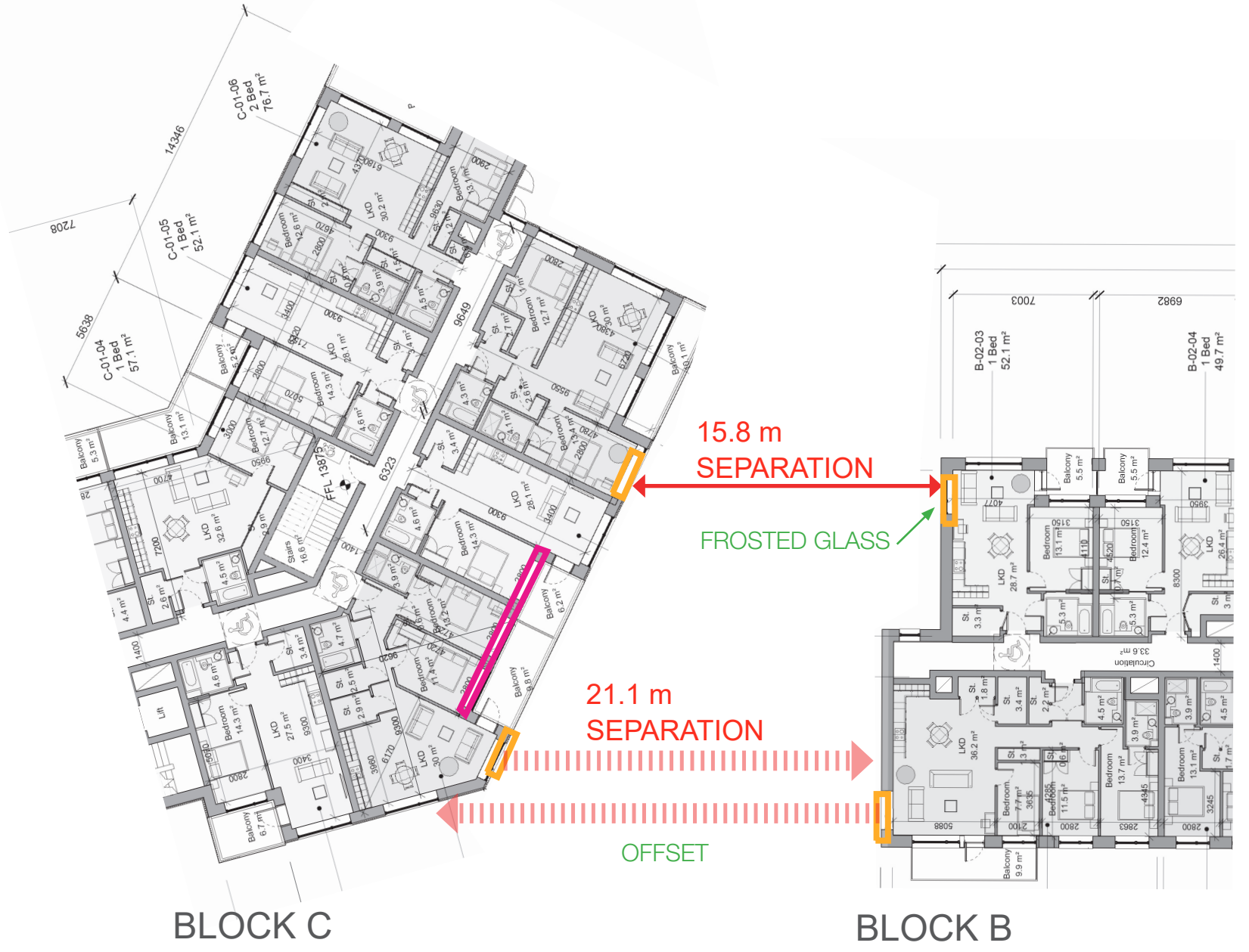
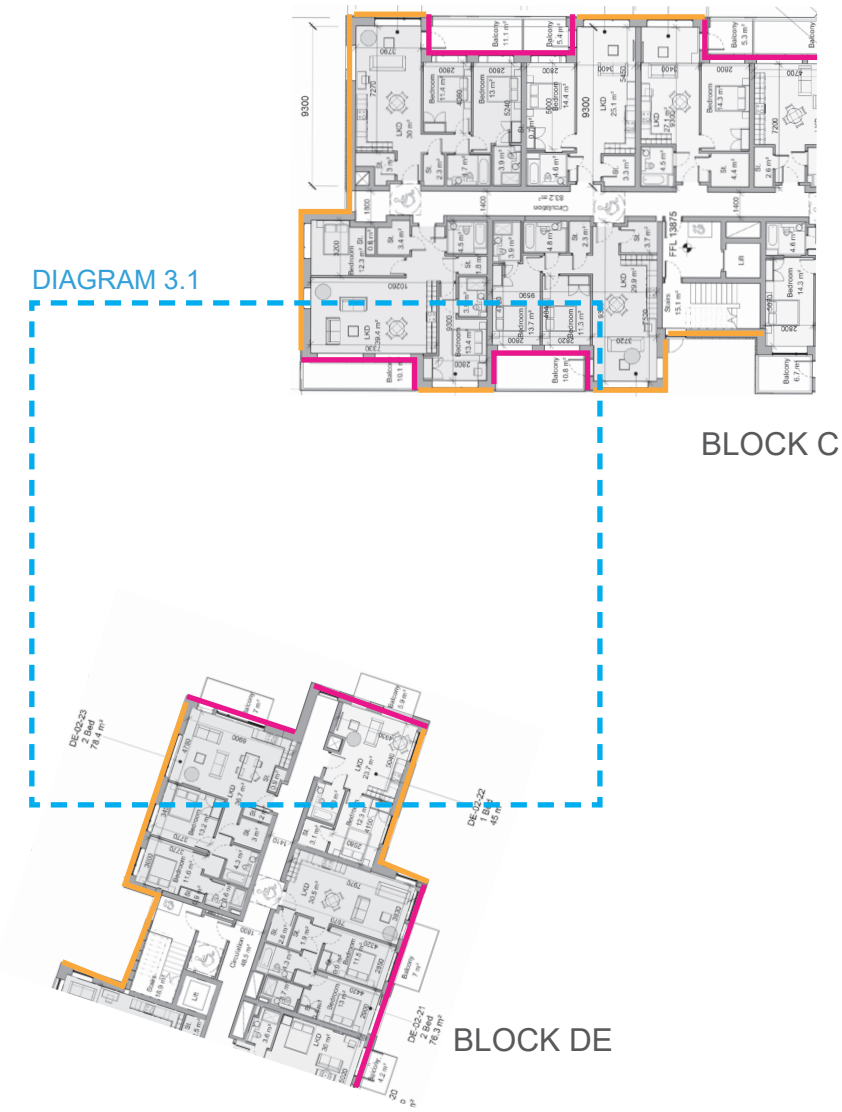


DIAGRAM 2.1



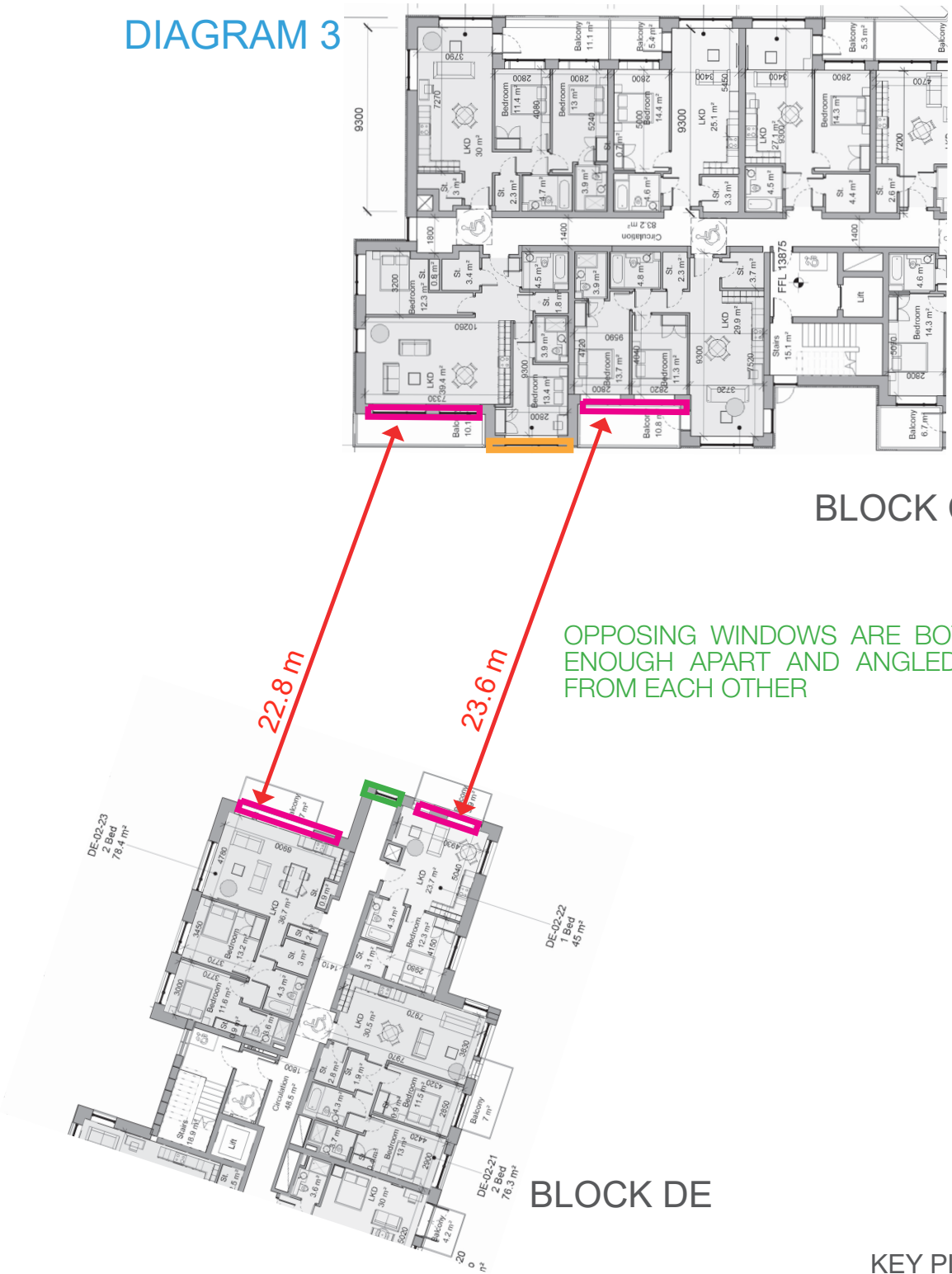
SEPARATION DISTANCES & OVERLOOKING

DIAGRAM 3



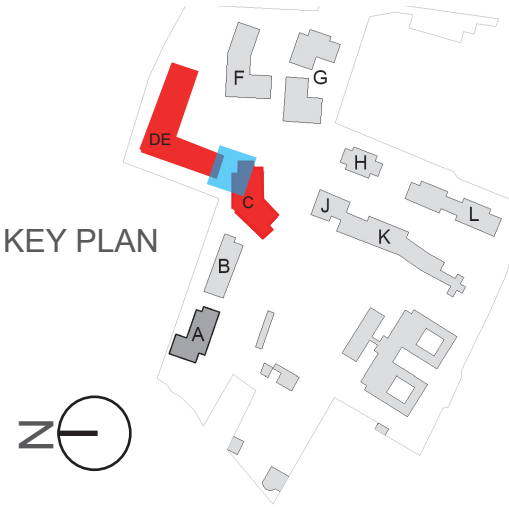
- Primary Aspect
- Secondary Aspect

DIAGRAM 3



OPPOSING WINDOWS ARE BOTH FAR ENOUGH APART AND ANGLED AWAY FROM EACH OTHER

- Primary Window
- Secondary Window
- Not occupied



SEPARATION DISTANCES & OVERLOOKING

DIAGRAM 4

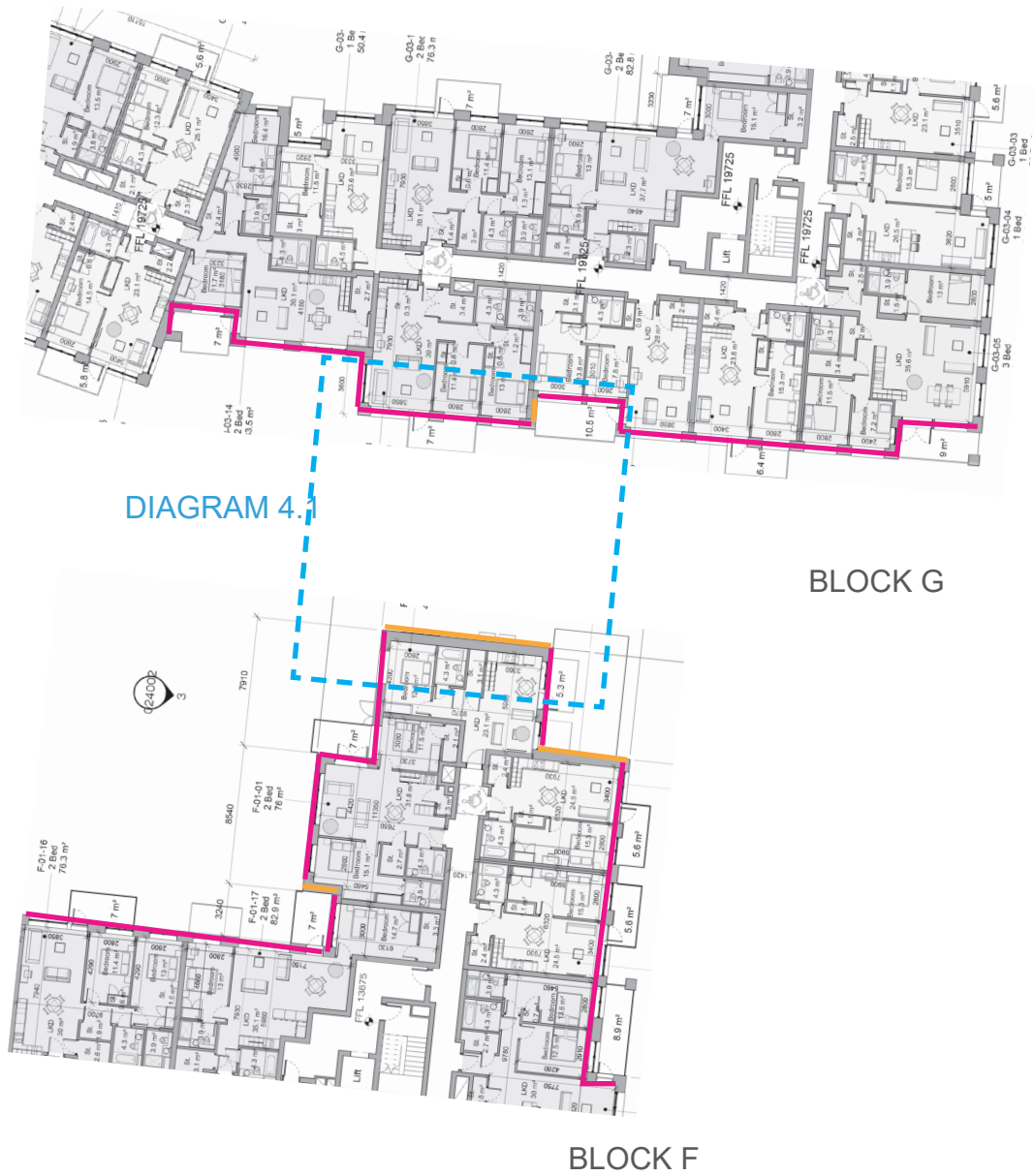
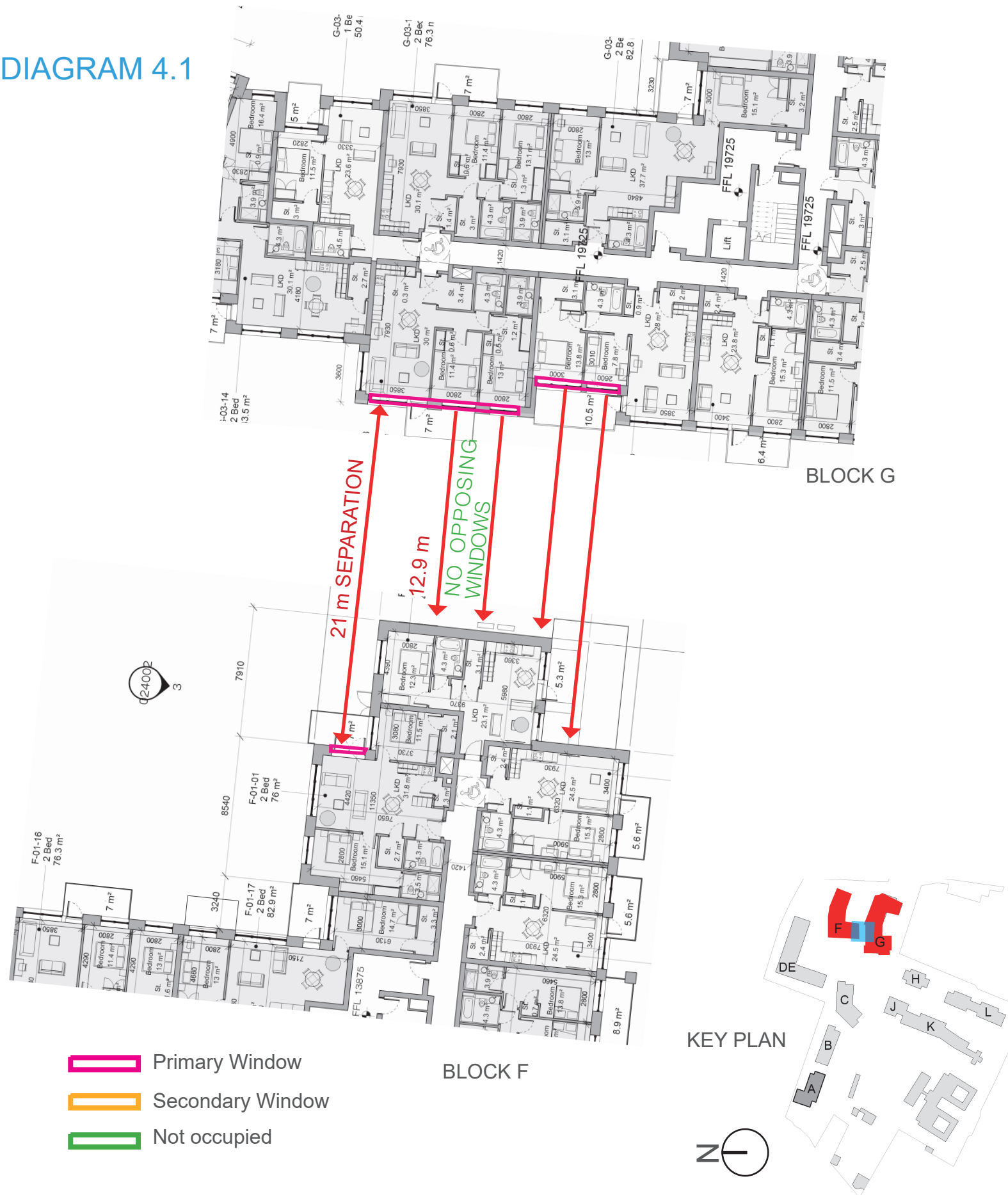
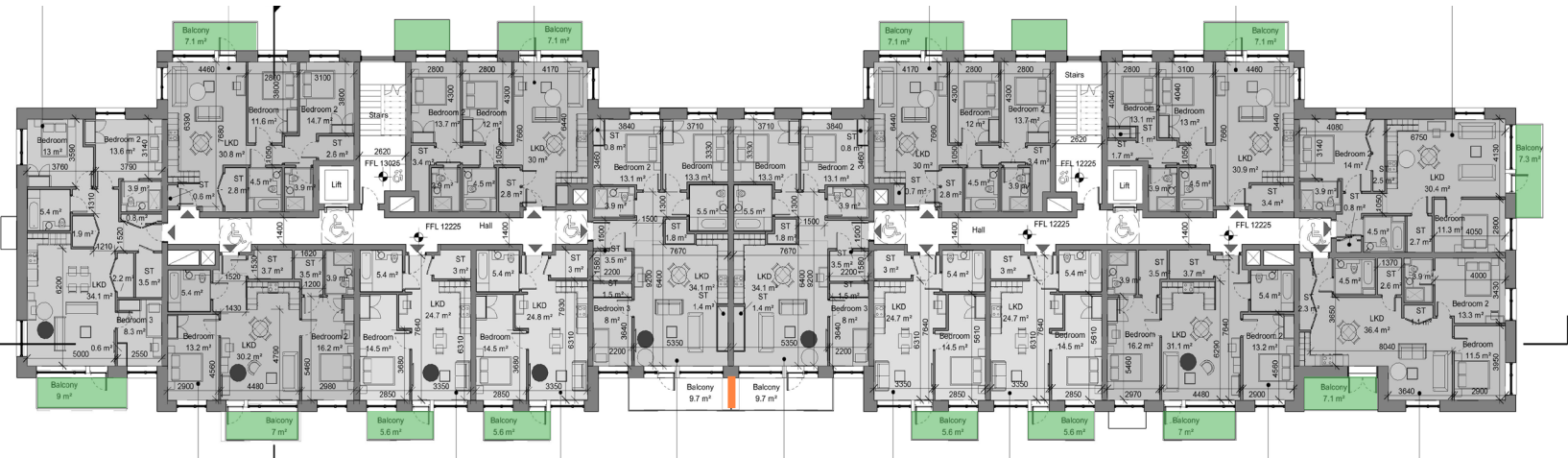


DIAGRAM 4.1



MEASURES TO MAXIMISE FUTURE OCCUPANT’S PRIVACY - PRIVATE AMENITY SPACE

The majority of balconies are individual and do not require any additional screening - see typical floor plan of Building L below. Individual balconies are highlighted in green.

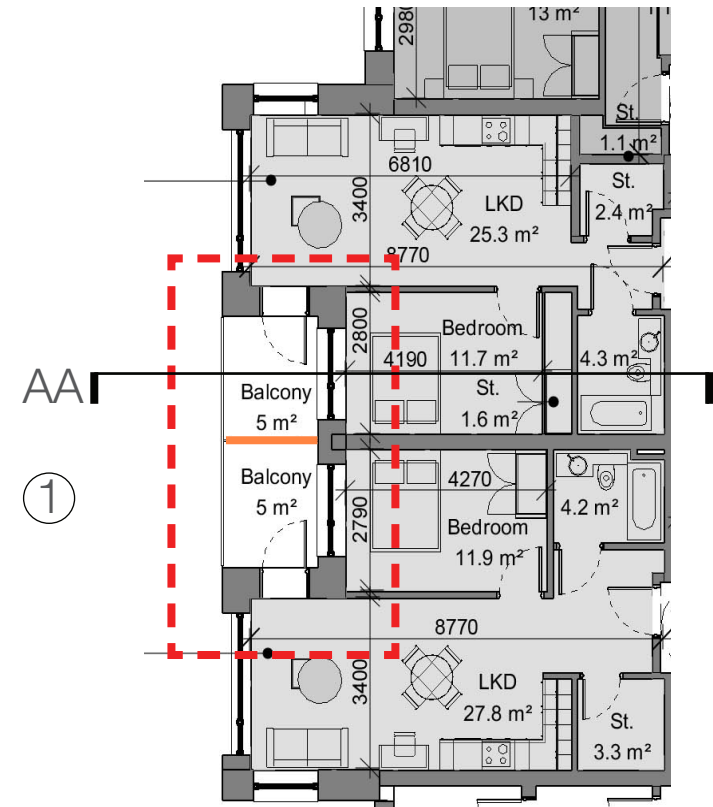


Where adjacent balconies do exist, they are separated with appropriate privacy screens. See the following sample plans and elevations which describe the screening used in the two typical kinds of adjacent balcony - inset (1) and cantilevered (2).

Typical details of balcony privacy screens are also shown.



AA



Typical Floor Plan Block DE

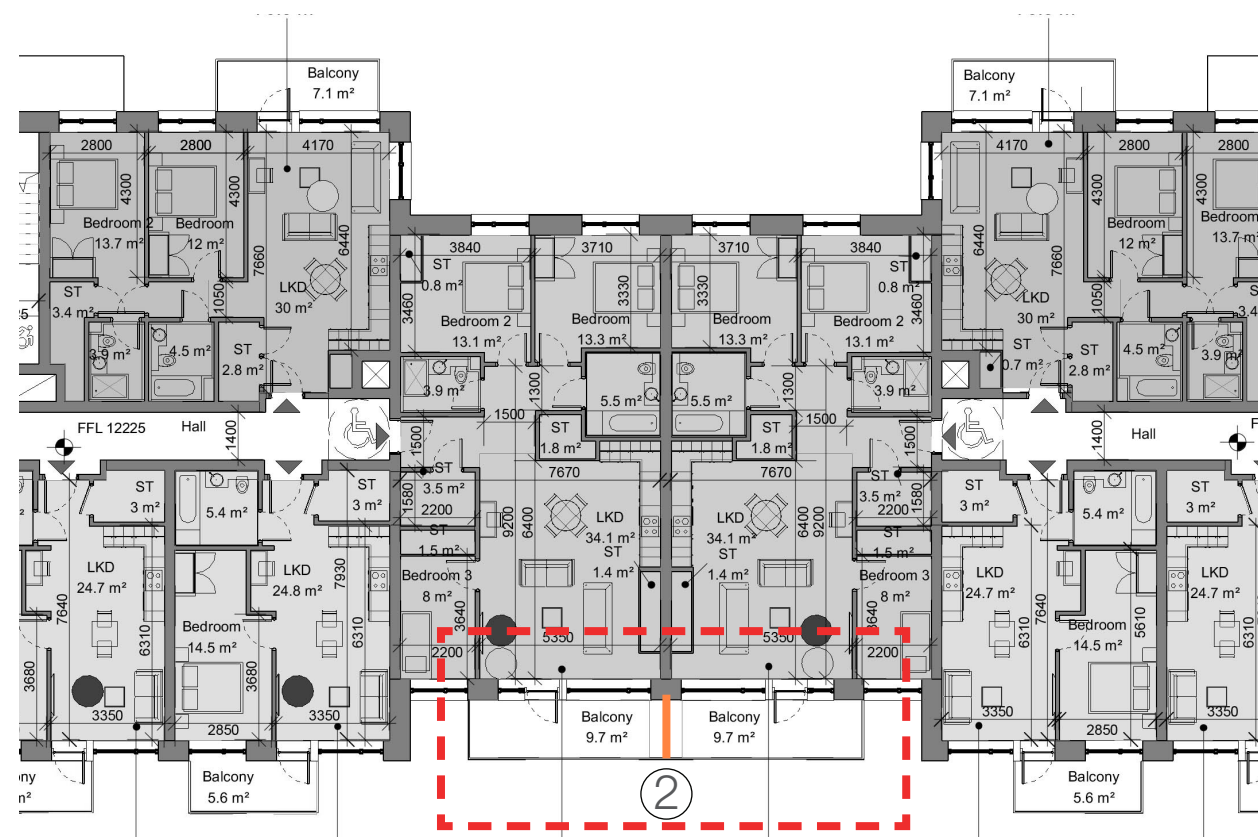


West Elevation Block DE



Privacy Screens on inset balconies ensure privacy and security to balcony areas.

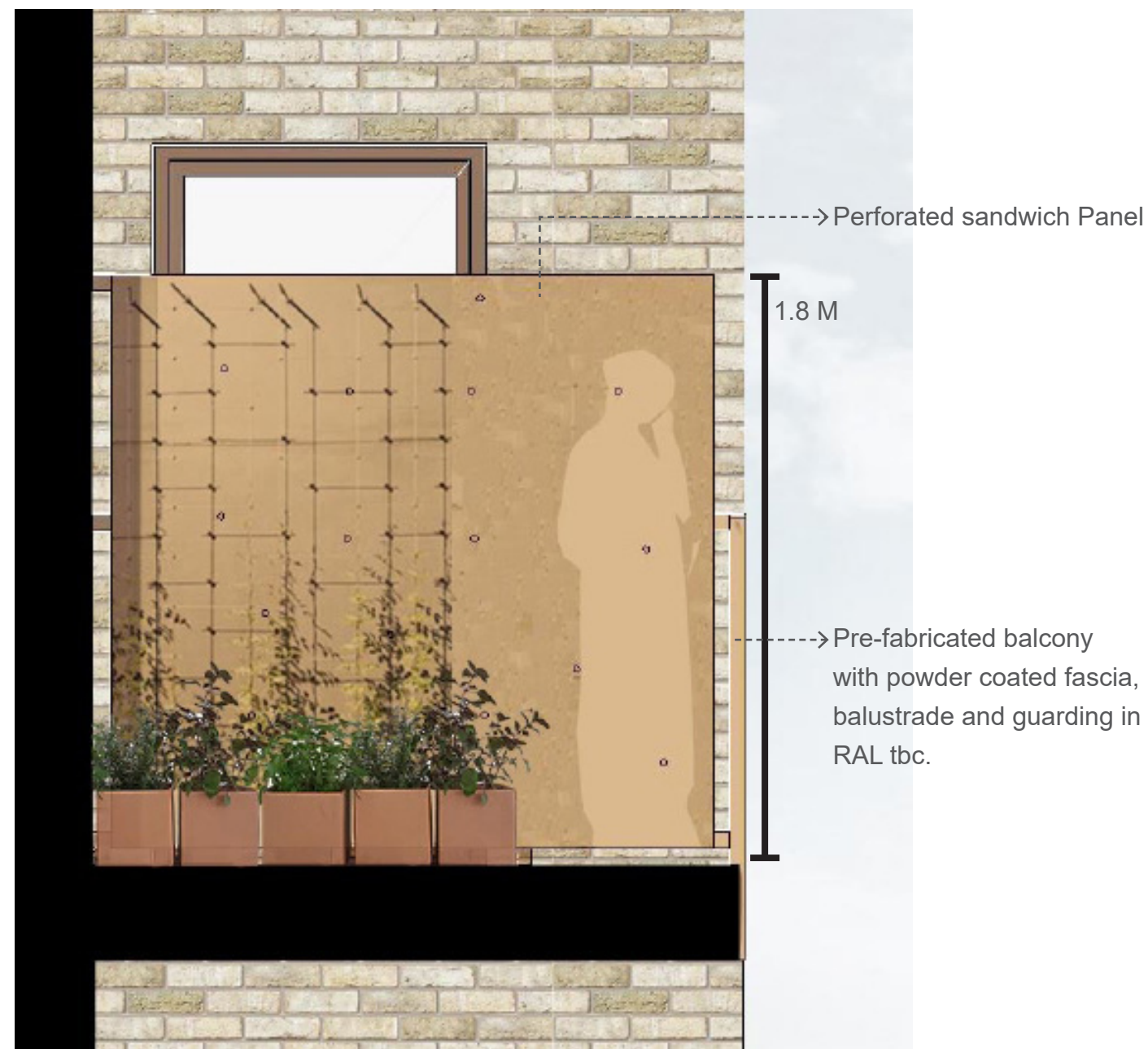
This page shows how two inset balconies (2) are separated by a privacy screen



Extract from First Floor Plan - Building L



Extract from South Elevation - Building L



Image/Elevation showing privacy screen between units

4.0 Residential Amenity

a) ‘Demonstration that neighbouring amenity is not unduly affected in terms of overlooking or overbearing impact particularly to the north of the site and to the southwest of the site. That the proposal accords with Section 15.9.18 ‘Overlooking and Overbearance’.

Having regard to Section 15.9.18 of the Dublin City Development Plan, we can demonstrate that the proposed scheme does not unduly impact on neighbouring amenity to the north and southwest of the site.

Northern Boundary

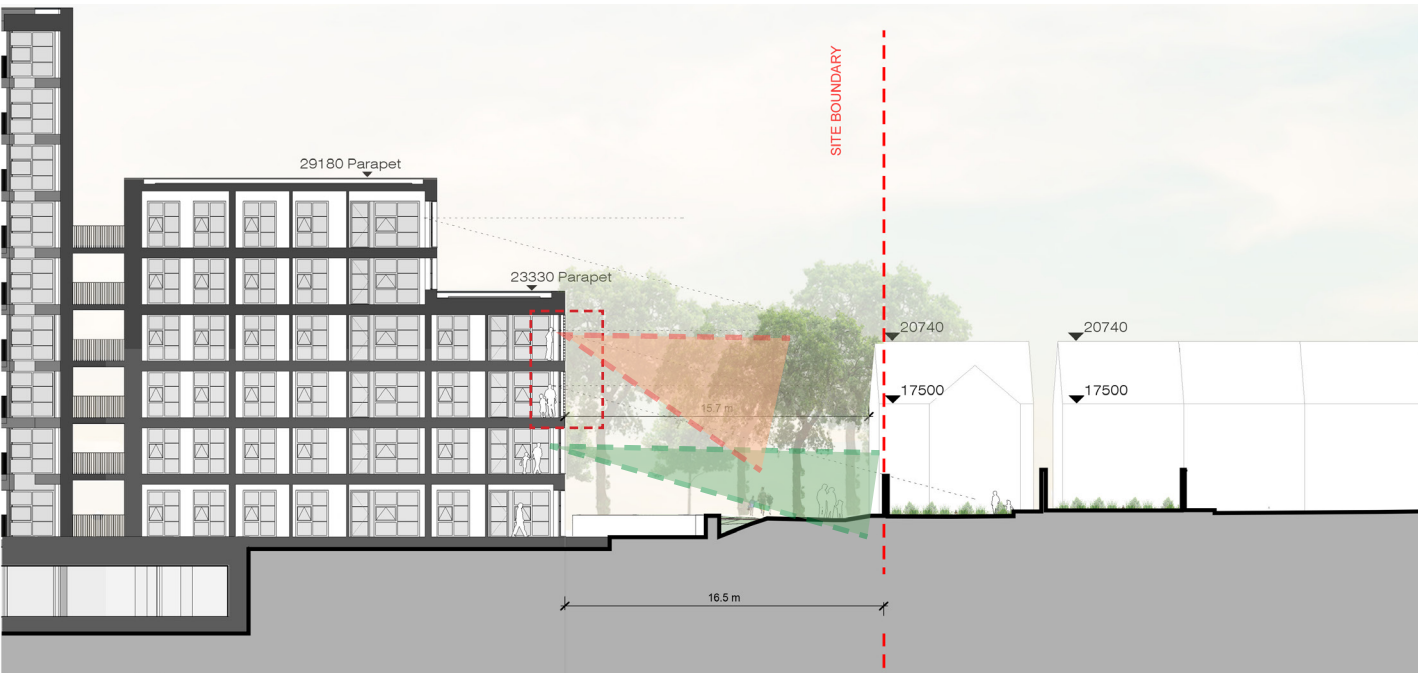
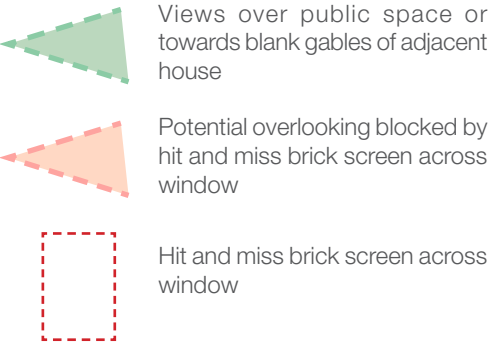
Building Configuration

- Building F is the closest to the Northern boundary and adjacent houses, and steps down to 4 stories as it approaches the activity trail along the boundary.
- On due consideration and bearing in mind the DCC LRD Opinion, we have reduced the northern section of the building by a full floor, reducing the height from 10 to 9 storeys, significantly reducing the visual impact of the building on the neighbouring development.
- In this re-evaluation of the massing of Building F, it was considered that the northern 4 and 6-storey elements were appropriately scaled with respect to the neighbouring development and did not present an overbearing aspect - as illustrated in the sections on this page.

The 10th storey which was proposed in the LRD Pre-Application Submission has been removed to reduce any potential overbearance in relation to the existing neighbouring residential development to the north



Exerpt from Site Sections 13 - See SVRD-STW-ZZ-ZZ-DR-A-025007 - Section through Building F and the Northern Boundary



Exerpt from Site Sections 14 - See SVRD-STW-ZZ-ZZ-DR-A-025007 - Section through Building F and the Northern

Elevational Design

- The houses in Gracepark Wood face East-west with only their gables facing the proposed development (the house immediately opposite Building F has a single ground floor window at ground floor level behind the boundary wall). We have addressed any potential overlooking of the rear gardens by minimising the amount of windows in the proposed north facing elevation.

Using Oblique Windows

- Given the distance of the proposed building from the boundary, the high boundary wall and new tree planting we propose retaining all north facing windows at Ground and First Floor level to ensure adequate passive surveillance of the adjacent Communal Open Space and Public Open Space. This addresses an issue raised by the local residents in a recent public consultation (See Appendix C in the Architectural Design Statement). The concern related to current experience of anti social behaviour on the undeveloped lands and residents welcomed the introduction of passive surveillance that would assist in addressing this issue (See Section 4.9 in the Architectural Design Statement). Second and Third Floor windows will have a brick screen to prevent any overlooking into the private rear gardens.

Using Architectural Features

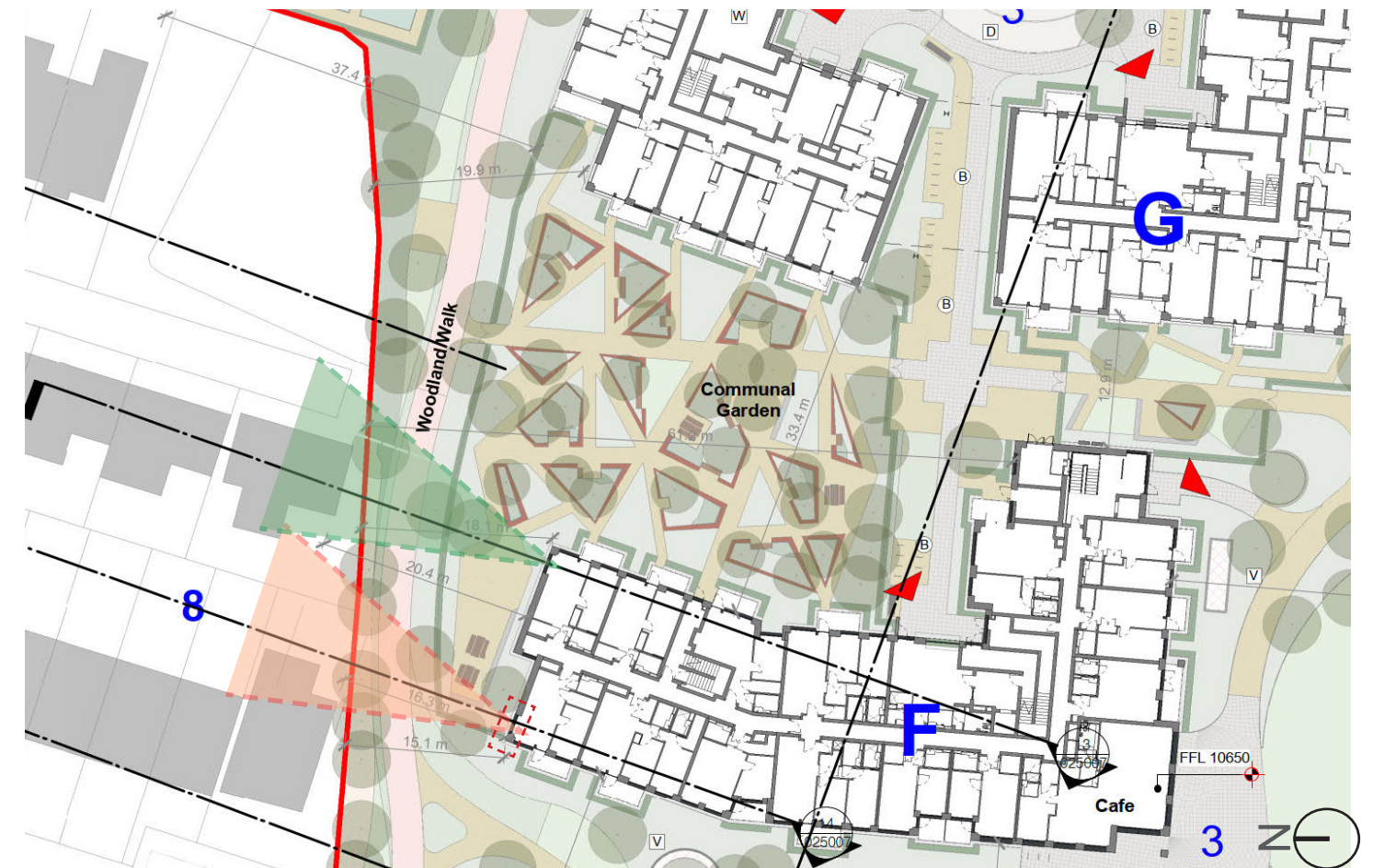
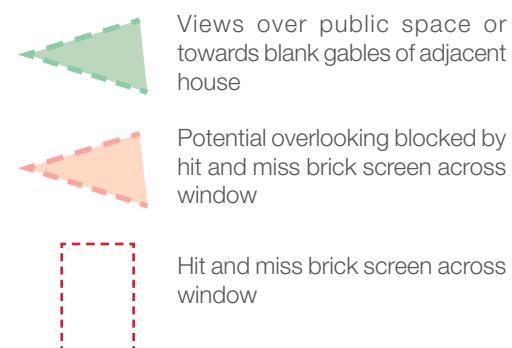
- The proposed buildings are stepped in plan and section to provide visual interest and reduce their scale.

Landscape and Boundary Treatments

- A substantial screen of new trees is proposed which will provide visual interest and an additional layer of privacy - see NMP dwgs and report for details.



Google Earth image showing gables of houses in Grace Park Wood facing the boundary. Position of single ground floor window in nearest house is highlighted.



Excerpt from Site plan showing Building F and Northern Boundary



North Elevation of Building F - See SVRD-STW-F-ZZ-DR-A-024002

These verified views demonstrate the proposed change in the perceived massing of Building F when viewed from Griffith Court when compared to the design submitted as part of the LRD Pre-application.

Note how the 4 and 6-storey elements are not visible, whereas the reduction of the overall height of Building F does reduce the perceived height and massing of Building F in relation to the existing houses.



Verified View No. 23 from Grace Park Wood in the LRD Pre-Application



Verified View No. 23 from Grace Park Wood showing the lower Building F



Verified View No. 25 from Griffith Court in the LRD Pre-Application



Verified View No. 25 from Griffith Court showing the revised lower Building F

a) Demonstration that neighbouring amenity is not duly affected

Having regard to Section 15.9.18 of the Dublin City Development Plan, we can demonstrate that the proposed scheme does not unduly impact on neighbouring amenity to the north and southwest of the site.

Adjacent terraced houses to the South West

Building Configuration

- Building A is a 7-storey block with a 2-storey element to the south. The 7-storey element is set back on the site so that it aligns with the rear boundary of the adjacent terraced houses.

Elevational Design

- The proposed 2-storey element offers only a blank facade to these rear gardens.

Using Oblique Windows

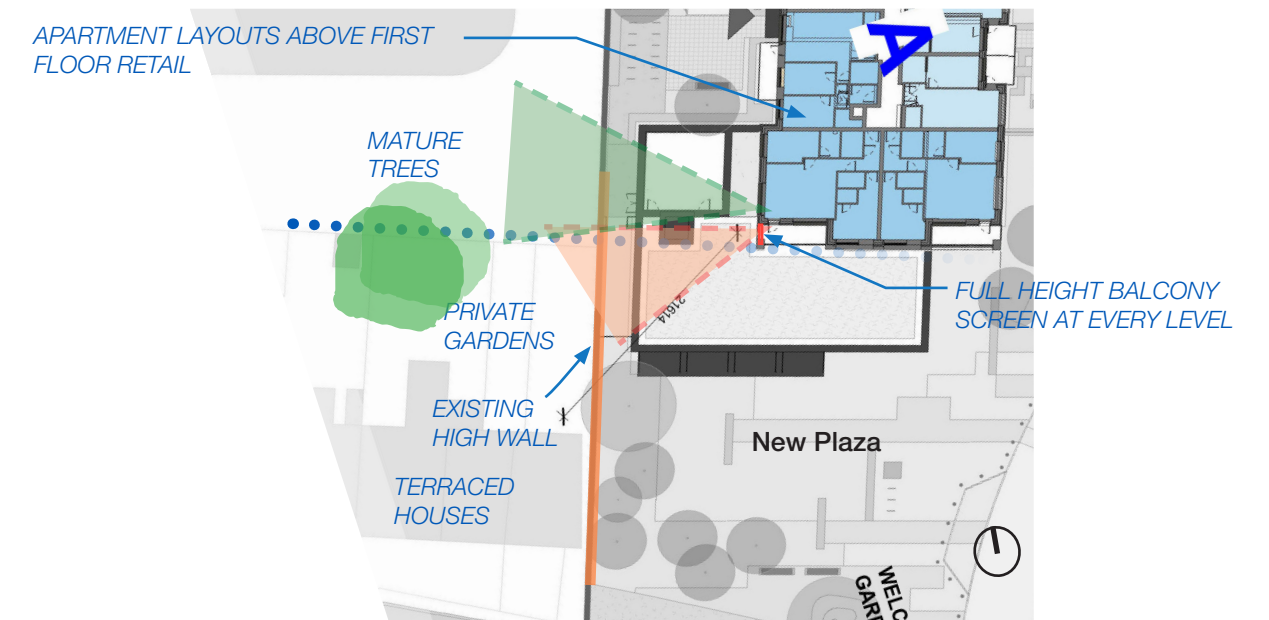
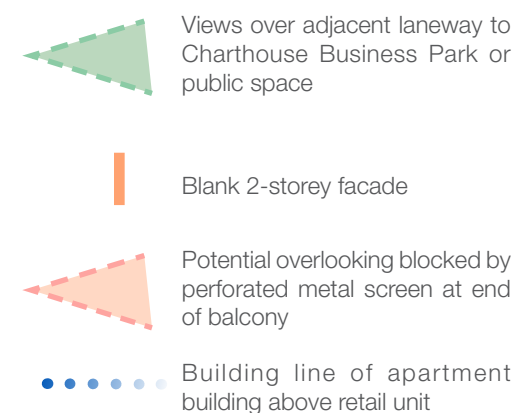
- There are no windows in Building B directly looking towards the private gardens of the terraced houses.

Using Architectural Features

- The end of the recessed balconies in the southwest corner of the 7-storey apartment building have a full height metal screen to prevent any oblique views from the balconies towards the adjacent houses.

Landscape and Boundary Treatments

- There are existing mature trees to the rear of the adjacent terrace.
- Existing high boundary wall



The set-out of the new apartment block A ensures no overlooking of the private rear gardens behind the terrace to the West.



Excerpt from Section 15 thru Building A demonstrating that apartment only overlook shared / commercial areas



Excerpt from Section 16 thru Building A demonstrating no overlooking over adjacent residential private rear gardens

5.0 Conservation

'The Conservation Section has had considerable engagement with the applicant as part of the inter-Departmental pre-application process, which included an inspection of the lands. In addition, there was a Conservation Meeting on the 9th February which included detailed feedback to the applicant team. There followed a S.247 Meeting on the 24th May at which a number of issues were raised including:

- 1) Retain as much historic fabric as possible.*
- 2) Provide a better understanding and methodology for relocation of gate piers.*
- 3) Existing historic features to be retained in their existing location as much as possible. Any item proposed for relocation must be justified.*
- 4) Demolition of St Theresa's and the Freeman wing accepted on balance by the Planning Authority to provide for east/west movement and having regard to the number of historic buildings to be retained.*
- 5) Salvage strategy required for demolitions.*

In terms of the information now received, it is the opinion of the Section that this would be adequate to make a planning application, subject to - adherence to 1-4 above (the salvage strategy has been submitted).'

This response should be read in conjunction with Chapter 13 - Architectural Heritage and the Architectural Heritage Impact Assessment and associated appendices prepared by Carrig which accompany the application.

This application includes documentation which provides a justification for the demolition of structures on site which are considered to form part of the protected structure and / or located within the curtilage of the protected structures, in order to allow the Planning Authority to assess such proposals in the context of Section 57(10)(b) of the Act.

Accordingly, the Architectural Heritage sections of the EIAR, and the application drawings, identifies exactly what demolition is involved in the application, identify whether each individual piece of demolition technically involves the demolition of any part of a protected structure, and where it does it provides a justification having regard to the exceptional circumstances arising under Section 57(10)(b).

We note that in considering any impacts on the protected structures (whether demolition or otherwise), the Planning Authority must have regard to the need to protect the structure, and it is demonstrated that the works / demolition proposed in the context of the protected structure is



CGI of the refurbished Protected Structures facing the new Central Park

5.5 ‘New buildings adjacent to the protected structures are subordinate in height/scale (below eaves of the PS)’

All new buildings immediately adjacent to the protected structures are subordinate in height/scale (below eaves). See the elevations on this page showing that the proposed building J sits below the eaves of the existing building.

The only exception to this is the new lift core - shown in the centre of the North Elevation - which is required to provide full accessibility to all levels of the existing structure. In this situation the part of this core that touches the existing structure is set below the level of the eaves. See image below.

The proposed apartment buildings H and L are well set back from the existing historic structures. They are also staggered in plan and vary in height from 5 to 6 to 4-stories to reflect the varied break-up of the older buildings. They are separated by the new highly landscaped public Central Park, comprising the existing mature grove of native trees and supplemental landscaping as per NMP Design Report.



‘Shadow gap’ detail between lift core and existing eaves



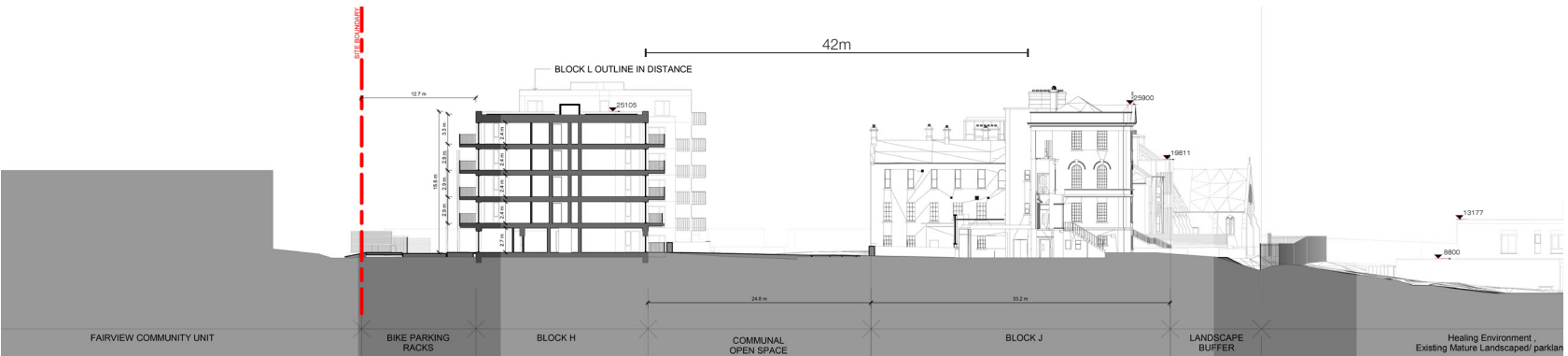
CGI from East showing Protected Structure in Parkland



Building K - Protected/historic Structure and Building J - North Elevation - showing Building J set below the eaves/parapet of the Protected Structure



Building K - Protected/historic Structure and Building J - North Elevation - showing Building J set below the eaves/parapet of the Protected Structure



Cross Section through Building H and Protected Structures - showing distance to Building H, which is similar in height to main Protected Structure



Excerpt from SVRD-STW-ST-ZZ-DR-A-024002 - Convent Quarter and Garden Quarter - South Elevations of Buildings H and L showing staggered parapet

5.5 and 6 (c)

Retention of as many mature trees on the grounds and especially along the main avenue, which (in combination) contribute to the setting of the protected structures, and ensuring that car parking provision is limited and appropriately landscaped in the vicinity.

Across the entire site every effort was made to retain as many mature trees as possible. There is also a very substantial number of new trees and shrubs proposed, significantly increasing and contributing to the biodiversity of the site. **See NMP drawings and Reports as well as Arborist drawings and reports.**

In relation to the proposed new Hospital entrance along the avenue towards Richmond House, we have proposed the following:

- Following detailed Engineering and Arborist input, the layout of the new road has been revised to enable the retention of all existing trees along this avenue. See plans on the following page.
- Additional supplemental tree planting is proposed to accentuate the avenue.



Photo of existing avenue towards Richmond House



Photomontage CGI showing proposed Avenue towards Richmond House

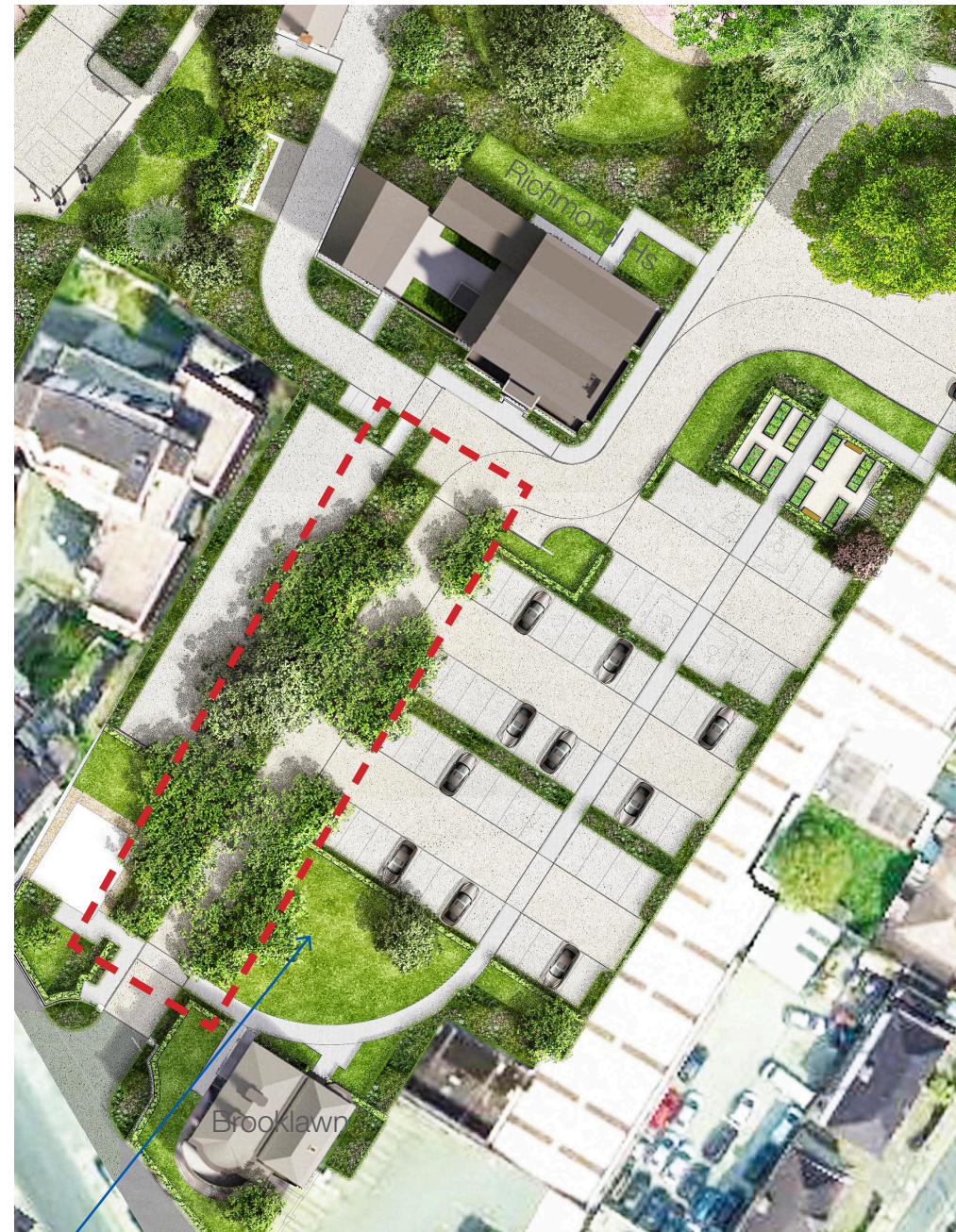
5.5

Any proposed car parking provision is limited and appropriately landscaped in the vicinity of the protected structures.

- A large green buffer was inserted to the rear of Brooklawn House following pre-planning discussions with the Conservation Department - see below.
- Only 4 spaces are proposed near the main protected/historic structures and they are to the east of the chapel gable as shown on the plan to the right. This facilitates drop-off for the Creche.



Plan of previous proposed parking layout to the rear of Brooklawn



*Plan of revised current parking layout to the rear of Brooklawn with generous green buffer
See also the retained tree-lined avenue towards Richmond House (dashed red line)*



Plan of proposed parking for creche to the east of the protected and historic structures

8.0 Traffic and Transportation Issues

a) and b) and c) See OCSC report

Also, Proposed Site Plan SVRD-STW-ST-00-DR-A-022003 shows all surface car parking spaces and set-down areas. The Basement GA Plan SVRD-STW-CP-B1-DR-A-022001 shows all car parking at basement level.

d. Cycle parking proposals

Cycle parking proposals requires review.

i. Details on how cyclists are to access the cycle stores at basement level should be clearly delineated/identified. If access is via the basement entrance along with other vehicles, additional user safety measures should be demonstrated including demarcated pedestrian/cyclist route, surface marking/signage, lighting and height clearance (min 2.6m) to avoid vehicular and pedestrian conflict.

ii. Detailed drawings of the bicycle stores to be provided outlining type and quantum per store/area, ensuring functionality and ease of access, including the type of bicycle stands proposed and distance between each stand. Ensure bicycle stores are located at the most convenient areas close to stairs/lifts in the basement area. Ensure the access doors to these stores are appropriately located.

iii. Revised site layout clearly delineating the location of all visitor bicycle parking,

iv. More sustainable options for cycle parking should be provided e.g. non-standard bikes, cargo bikes, electric bicycle charging stations.

v. Details on how bicycle stores are to be managed should be provided i.e. with access to certain areas for residents in the basement level.

vi. Details on the proposed bike sharing facility referred to in the Operational Management Plan and its location.

vii. Showers and changing facilities for the commercial use buildings should be provided.

i. Details on how cyclists are to access the cycle stores at basement level are clearly delineated/identified. Access is via the basement entrance along with other vehicles and additional user safety measures are demonstrated including demarcated pedestrian/cyclist route, surface marking/signage, lighting and height clearance (min 2.6m) to avoid vehicular and pedestrian conflict.

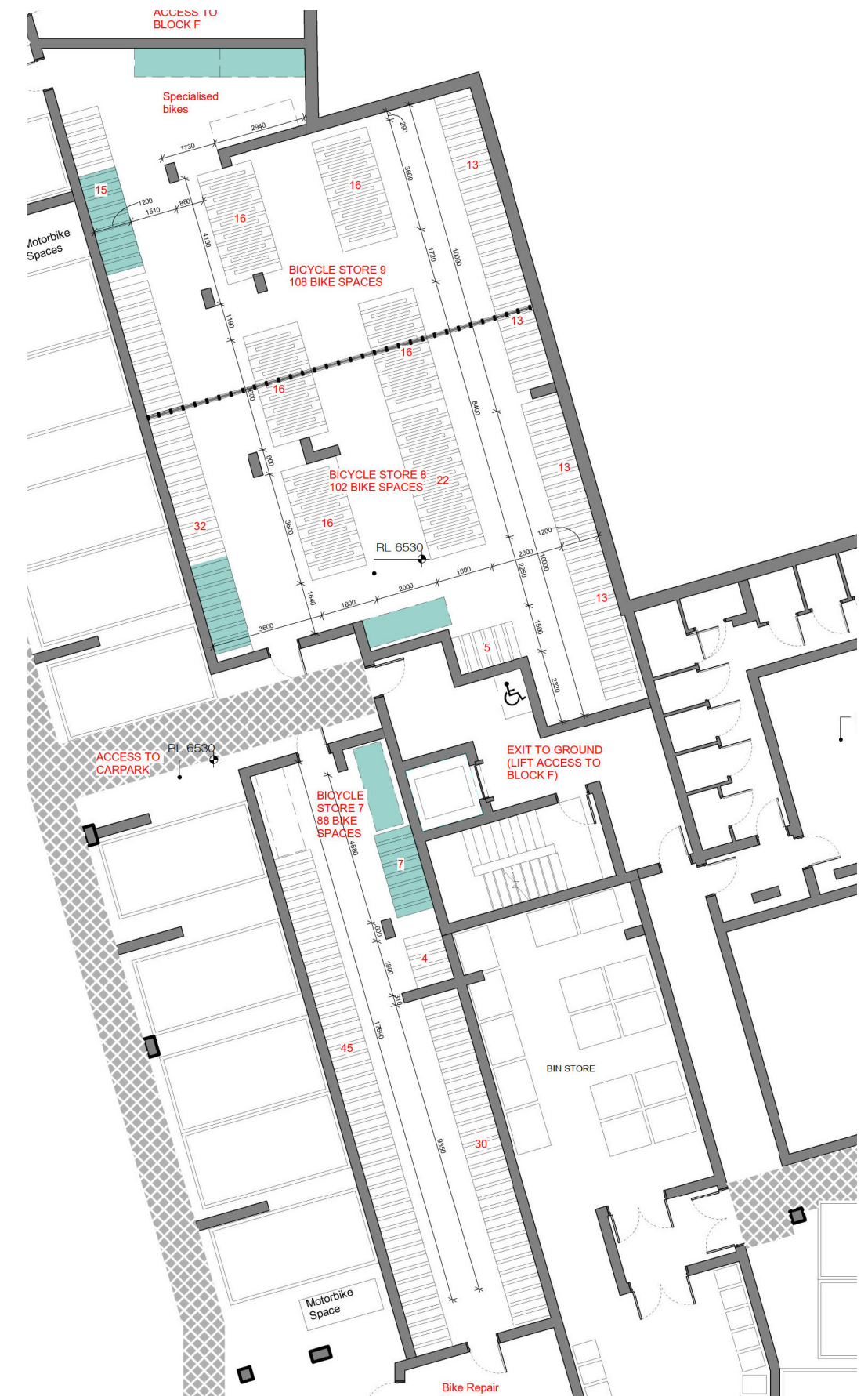
See Architect's Design Statement and Basement GA Plan SVRD-STW-CP-B1-DR-A-022001

ii. Detailed drawings of the bicycle stores are provided. All bicycle stores are located at the most convenient areas close to stairs/lifts in the basement area and access doors to these stores are appropriately located. See Basement GA Plan SVRD-STW-CP-B1-DR-A-022001 and detailed store layouts SVRD-STW-CP-B1-DR-A-027001 and SVRD-STW-CP-B1-DR-A-027002.

iii. NMP have provided dwgs of bicycle stores and position and number of all visitor bicycle parking.

iv. Cargo bike spaces and recharging facilities are provided - as per detail plans SVRD-STW-CP-B1-DR-A-027001 and SVRD-STW-CP-B1-DR-A-027002.

v. See OCSC Response to DCC LRD Opinion



Excerpt from Detailed Basement Bike Stores SVRD-STW-CP-B1-DR-A-02702

for Commercial development:
 min 1 shower per commercial space > 75 sq.m
 min 2 showers per commercial space >500 sq.m
 plus 1 additional shower per every 1000sq.m thereafter

2 Showers provided (Level 00)

1 Shower provided (Level 00)

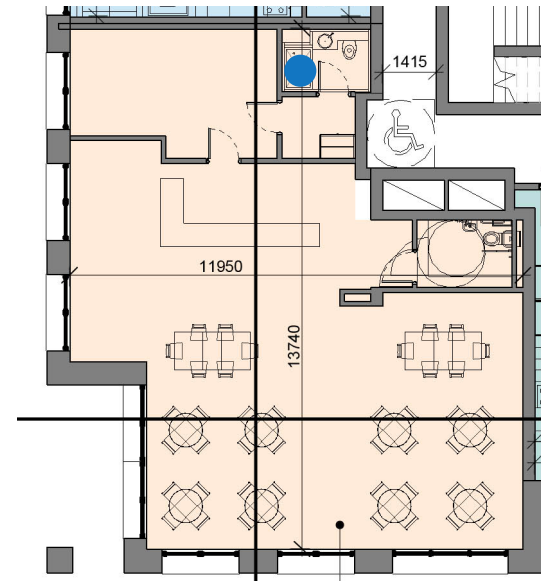
4 Staff Showers provided (Level 01)
11 User Showers provided (Level 00)

1 Shower provided (Level 00)

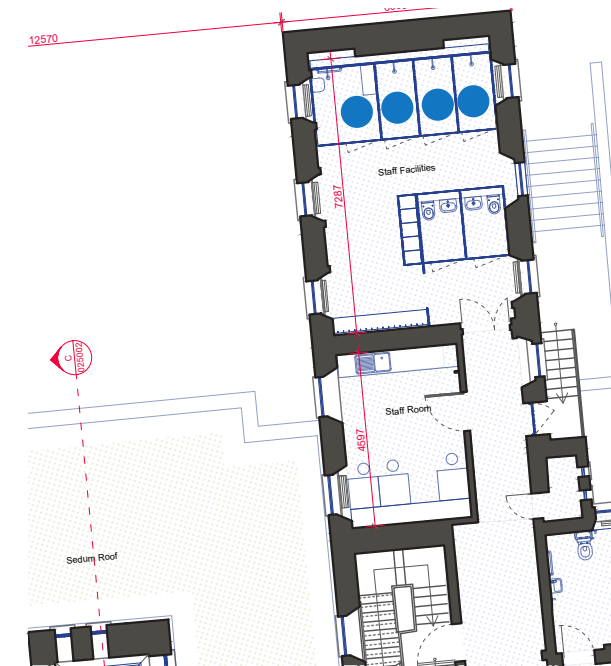
3 Showers provided (Level 02)

2 Showers provided (Levels B1 and 01)

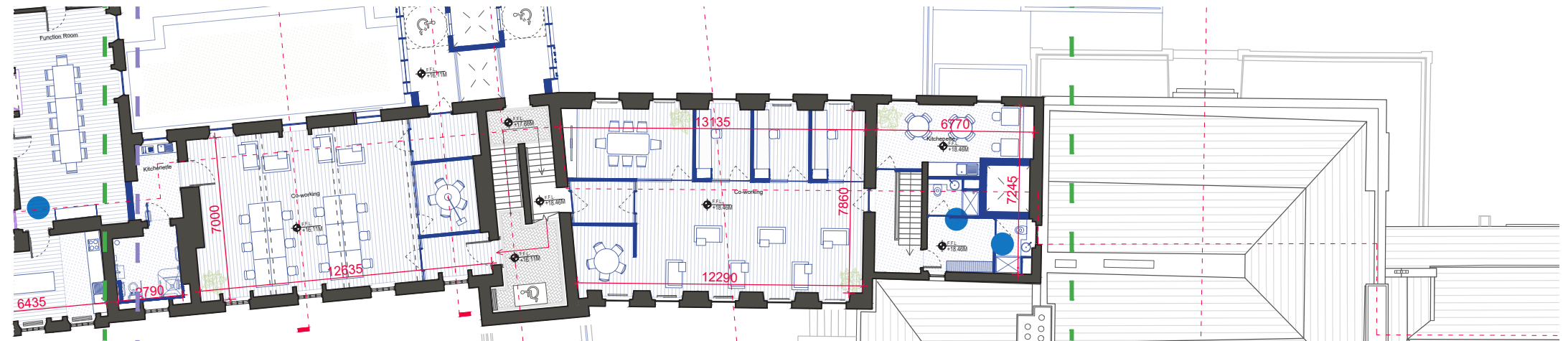
 Shower



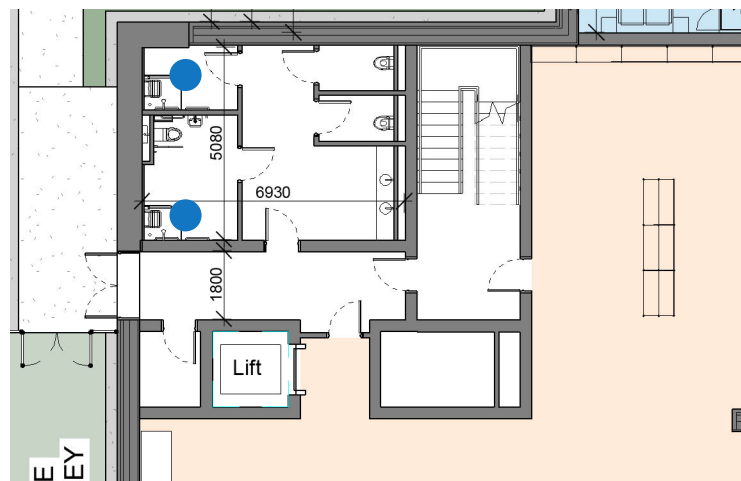
2. Cafe in Building F - Extract from SVRD-STW-F-01-DR-A-022001



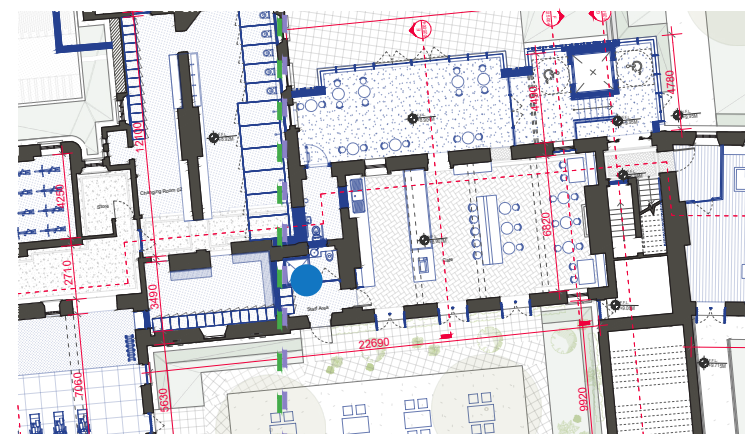
3. Gym Staff Area in Building K - Extract from SVRD-STW-JK-01-DR-A-022003



5. Library + Co-working in K - Extract from SVRD-STW-JK-02-DR-A-022004 Second Floor Plan



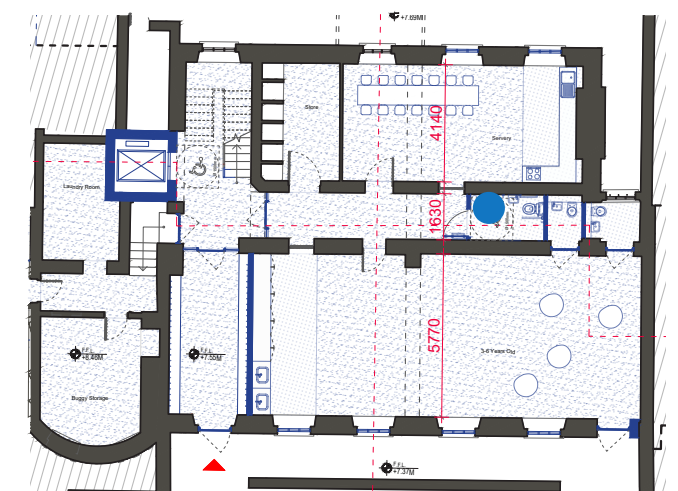
1. Retail Unit in Building A - Extract from SVRD-STW-A-01-DR-A-022001



4. Cafe in K - Extract from SVRD-STW-JK-00-DR-A-022002



6. Creche in K - Extract from SVRD-STW-JK-01-DR-A-022003



6. Creche in K - Extract from SVRD-STW-JK-B1-DR-A-022001

Scott Tallon Walker Architects

www.stwarchitects.com

Dublin
19 Merrion Square, Dublin 2,
D02 VR80, Ireland
Tel: +353 (1) 669 3000
Email: michael.tallon@stwarchitects.com

London
10 Cromwell Place, London,
SW7 2JN, UK
Tel: +44 (207) 589 4949
Email: eoin.omorain@stwarchitects.com

Cork
72 South Mall, Cork,
T12 VX9A, Ireland
Tel: +353 (21) 432 0744
Email: david.flannery@stwarchitects.com

Galway
Odeon House, 7 Eyre Square,
Galway, H91 PX9K, Ireland
Tel: +353 (91) 56 4881
Email: bryan.roe@stwarchitects.com

